

Legal Description

A TRACT OF LAND THAT IS PART OF BLOCKS ONE (1), TWO (2), AND THREE (3) OF VACATED "OAKLAWN ADDITION" AN ADDITION IN THE COUNTY OF TULSA, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF (PLAT NO. A8-458), SAID TRACT BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF LOT ONE (1) OF SAID BLOCK 1; THENCE SOUTH 89°17'08" WEST ALONG THE NORTHERLY LINE OF BLOCK 1, FOR A DISTANCE OF 5.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 0°00'00" EAST AND PARALLEL WITH THE EASTERLY LINE OF BLOCK 1, FOR A DISTANCE OF 228.00 FEET TO A POINT; THENCE SOUTH 89°17'08" WEST AND PARALLEL WITH SAID NORTHERLY LINE, FOR A DISTANCE OF 223.14 FEET TO A POINT; THENCE SOUTH 0°42'52" EAST FOR A DISTANCE OF 211.98 FEET TO A POINT ON THE SOUTHERLY LINE OF BLOCK 1; THENCE SOUTH 89°17'08" WEST ALONG THE SOUTHERLY LINES OF SAID BLOCKS 1, 2 AND 3, FOR A DISTANCE OF 919.50 FEET TO A POINT, SAID POINT BEING THE SOUTHWEST CORNER OF LOT FIVE (5), BLOCK 3; THENCE NORTH 0°00'00" WEST ALONG THE WESTERLY LINE OF BLOCK 3, FOR A DISTANCE OF 160.00 FEET TO A POINT, SAID POINT BEING THE MOST SOUTHERLY SOUTHWEST CORNER OF LOT ONE (1), BLOCK 3; THENCE NORTH 89°17'08" EAST ALONG THE SOUTHERLY LINE OF SAID LOT 1, FOR A DISTANCE OF 15.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF HIGHWAY 444; THENCE NORTH 5°58'00" EAST ALONG SAID EASTERLY RIGHT-OF-WAY LINE, FOR A DISTANCE OF 100.68 FEET TO A POINT; THENCE NORTH 89°17'08" EAST AND PARALLEL WITH THE SOUTHERLY LINE OF SAID BLOCK 3, FOR A DISTANCE OF 274.53 FEET TO A POINT ON THE EASTERLY LINE OF SAID LOT 1, BLOCK 3; THENCE NORTH 0°00'00" WEST ALONG SAID EASTERLY LINE, FOR A DISTANCE OF 180.00 FEET TO A POINT, SAID POINT BEING THE NORTHEAST CORNER OF BLOCK 3; THENCE NORTH 89°17'08" EAST ALONG THE NORTHERLY LINE OF VACATED "OAKLAWN ADDITION", FOR A DISTANCE OF 840.00 FEET TO THE POINT OF BEGINNING.

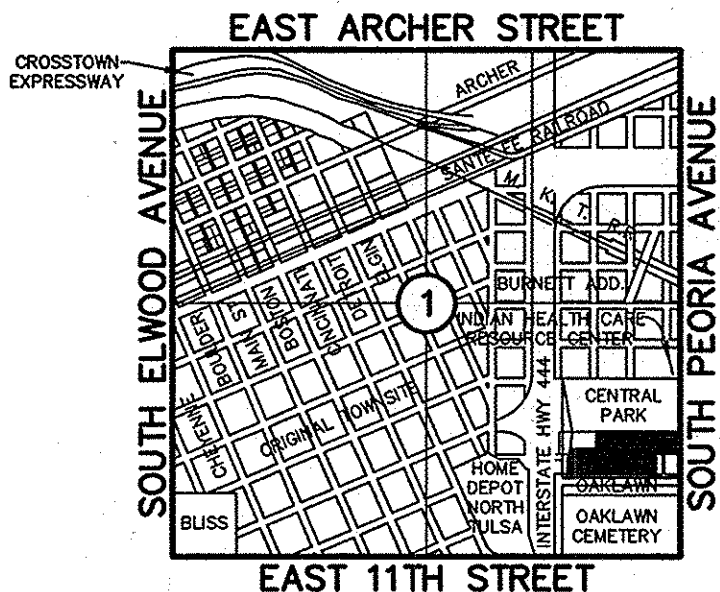
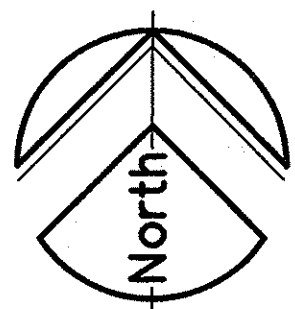
SAID TRACT CONTAINING 398,520 SQUARE FEET, OR 9.149 ACRES.

# The Village at Central Park

PART OF THE SE/4 OF THE SE/4 OF SECTION 1, TOWNSHIP 19 NORTH, RANGE 12 EAST  
A SUBDIVISION IN THE CITY OF TULSA, TULSA COUNTY, OKLAHOMA  
(PART OF THE VACATED PLAT OF OAKLAWN ADDITION (PLAT NO A8-458))

General Notes

- 1.1 TOPOGRAPHIC INFORMATION SHOWN HEREON WAS PROVIDED BY TANNER CONSULTING, TULSA, OKLAHOMA.
- 1.2 ALL GRADES ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OR NGVD (FORMERLY USGS).
- 1.3 WHEREVER THE WORD "CITY" APPEARS HEREIN THE SAME SHALL CONCLUSIVELY BE DEEMED TO MEAN THE CITY OF TULSA, OKLAHOMA UNLESS THE CONTEXT CLEARLY DICTATES OTHERWISE.
- 1.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY WORK ORDERS AND PERMITS FROM THE CITY, INCLUDING PROVISION OF BONDS AND INSURANCE AS REQUIRED.
- 1.5 THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS DEPARTMENT AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION.
- 1.6 ONE-TIME CONSTRUCTION STAKING SHALL BE PROVIDED BY THE OWNER. ANY RESTAKING WILL BE REQUESTED AND PAID FOR BY THE CONTRACTOR.
- 1.7 TESTING SHALL BE PROVIDED BY THE OWNER. ANY FAILING TESTS SHALL BE RETESTED AT THE CONTRACTOR'S EXPENSE FOLLOWING CORRECTIVE ACTIONS.
- 1.8 CONTRACTOR TO REMOVE EXISTING UTILITIES WITHIN PROJECT AREA UNLESS OTHERWISE NOTED PER COORDINATION WITH AND APPROVAL FROM THE UTILITY SUPPLIER.
- 1.9 ALL CONSTRUCTION ACTIVITY AND RELATED EASEMENTS WITHIN CENTRAL PARK SHALL BE COORDINATED BY THE DEVELOPER. WORK SHALL NOT COMMENCE WITHIN THE PARK UNTIL RECEIPT OF PARK BOARD APPROVAL.



Location Map  
SCALE: 1"=2000'

Index

SHEET NAME	SHEET#
BOUNDARY AND EXISTING TOPOGRAPHY	1
COMPENSATORY STORAGE PLAN	2
PROPOSED SITE PLAN	3
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GRADING PLANS	5-9
PAVING PROFILES	10
PAVING SECTIONS & DETAILS	11
STORM SEWER PROFILES	12
STORM SEWER ALIGNMENT DETAILS	13
DETAILS & NOTES	14

CONTRACTOR TO SEE STORMWATER POLLUTION PREVENTION PLAN FOR ALL EROSION CONTROL REQUIREMENTS.

THE FOLLOWING STANDARD DRAWINGS FROM THE CITY OF TULSA PUBLIC WORKS DEPARTMENT WILL BE REQUIRED:

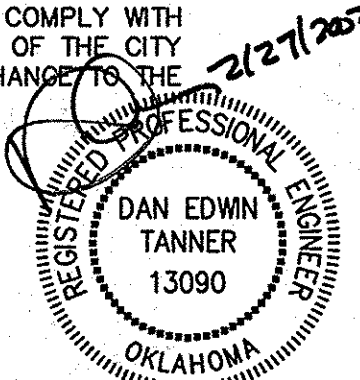
- PAVEMENT STANDARDS ASPHALT CONCRETE
- STANDARD STORM SEWER INLETS (REINFORCED CONCRETE & MASONRY)
- STANDARD INLET W/ ACCESS MANHOLE BACK OF CURB
- STANDARD CAST IRON CURB
- STANDARD STORM SEWER GRATE AND FRAME
- STANDARD CASTINGS
- STD. REINFORCED CONCRETE CURB INLET W/ ACCESS MANHOLE BACK OF CURB

OWNER:  
**The Village at Central Park, L.L.C.**  
AN OKLAHOMA LIMITED LIABILITY COMPANY  
1320 N. Wheeling  
Tulsa, Oklahoma 74110  
Phone: (918) 587-0249

I HEREBY CERTIFY TO THE CITY OF TULSA, THAT THE APPROVED PLANS WILL BE IMPLEMENTED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER.

BY: \_\_\_\_\_ TITLE: \_\_\_\_\_ DATE: \_\_\_\_\_

I HEREBY CERTIFY THAT I AM FAMILIAR WITH THE ADOPTED ORDINANCES AND REGULATIONS OF THE CITY OF TULSA GOVERNING DRAINAGE, DETENTION AND EARTH CHANGE, THAT THESE PLANS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION; THE ABOVE AND FOREGOING DRAINAGE PLANS COMPLY WITH ALL GOVERNING ORDINANCES AND THE ADOPTED STANDARDS OF THE CITY OF TULSA PERTAINING TO DRAINAGE, DETENTION AND EARTH CHANGE TO THE BEST OF MY KNOWLEDGE AND BELIEF.



RECORD PLANS DWG. #11569

Record Plans

TO THE BEST OF MY KNOWLEDGE, FROM THE INFORMATION AVAILABLE, THIS PLAN IS IN SUBSTANTIAL COMPLIANCE WITH FIELD CONSTRUCTION.

DAN E. TANNER, P.E., P.L.S.  
2/26/2002

Impervious Area Calculations

PRE-DEVELOPMENT IMPERVIOUS AREA:	82,459 SF
POST-DEVELOPMENT IMPERVIOUS AREA:	225,701 SF
INCREASE IN IMPERVIOUS AREA:	143,242 SF

PFPI Description

PROVIDE PUBLIC STREETS, ALLEYS, GRADING, STORM SEWER AND PARALLEL PARKING ON PEORIA AVENUE TO SERVE THE VILLAGE AT CENTRAL PARK (INCLUDES WORK IN CENTRAL PARK)

Legend

B/L	BUILDING LINE	SDI	STANDARD DROP INLET
BM	BENCHMARK	SGDI	SINGLE GRATE DROP INLET
CTV	CABLE TELEVISION	SS	SANITARY SEWER PIPE
DODI	DOUBLE GRATE DROP INLET	TC	TOP OF CURB
FH	FIRE HYDRANT	TG	TOP GRATE (INLET FLOWLINE)
GM	GAS METER	TR	MANHOLE TOP RIM
GRSR	GAS RISER	TRSR	TELEPHONE RISER
GV	GAS VALVE	UE	UNDERGROUND ELECTRIC
IP	IRON PIN	U/E	UTILITY EASEMENT
LH	LAMPPOLE	UG	UNDERGROUND GAS LINE
OE	OVERHEAD ELECTRIC	UT	UNDERGROUND TELEPHONE
OT	OVERHEAD TELEPHONE	WL	WATERLINE
PP	POWER POLE	WM	WATER METER
SD	STORM SEWER PIPE	WV	WATER VALVE

Benchmark

CHISELED BOX ON THE NORTH WEST CURB RETURN OF SOUTH PEORIA AVENUE AND EAST 8TH STREET SOUTH.

ELEVATION= 698.83 (NGVD)

EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN AND PLANS HAVE BEEN SENT TO THE AFFECTED UTILITY OWNERS FOR VERIFICATION OF EXISTING LINES. BEFORE YOU DIG, CONTACT OKIE: 1-800-522-6543.

A T & T COMPANY  
COX COMMUNICATION  
OKLAHOMA NATURAL GAS COMPANY  
SOUTHWESTERN BELL TELEPHONE COMPANY  
PUBLIC SERVICE COMPANY OF OKLAHOMA

TANNER CONSULTING, LLC CERTIFICATE OF AUTHORIZATION NO. CA 2661 EXP. 6/30/2003

**The Village at Central Park**  
**PFPI No. 2740**  
**City of Tulsa, Oklahoma**

**Tanner Consulting, LLC**  
5323 SOUTH LEWIS AVENUE • TULSA, OKLAHOMA 74105 • (918) 745-9929

PLAN SCALE	BOUNDARY AND EXISTING TOPOGRAPHY	APPROVED
1"= 50'	RECOMMENDED	
PROFILE SCALE:	DEVELOPMENT SERVICES	
HORIZONTAL:	RECOMMENDED	
VERTICAL:	ENGINEERING SERVICES	PUBLIC WORKS DIRECTOR
FILE:	PROJECT: 9053	DATE:
ATLAS PAGE NO: 1		SHEET SD1 OF 14 SHEETS

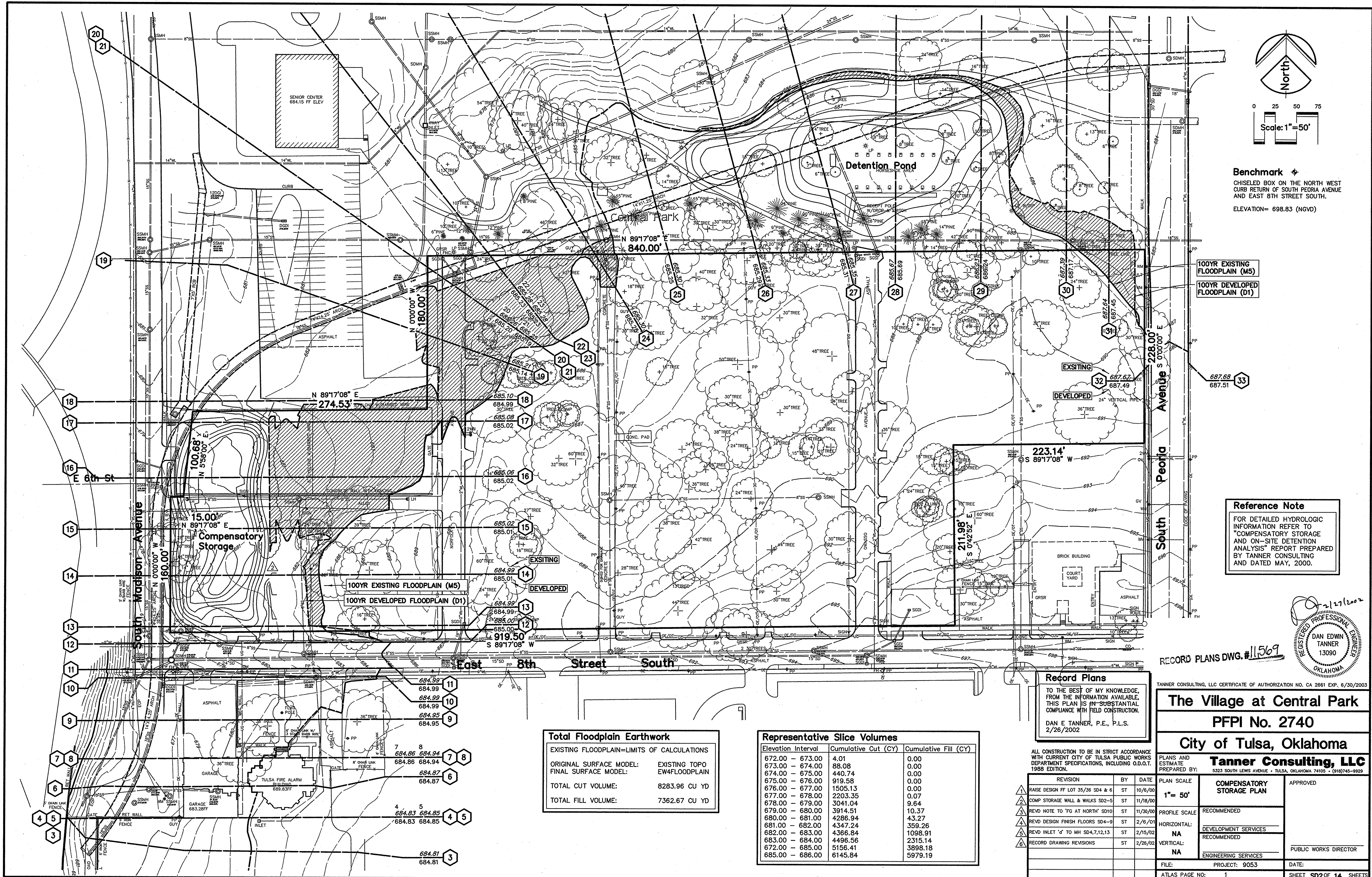
ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF TULSA PUBLIC WORKS DEPARTMENT SPECIFICATIONS, INCLUDING O.D.O.T. 1988 EDITION.

REVISION	BY	DATE
1. RAISE DESIGN FF LOT 35/36 SD4 & 6	ST	10/6/00
2. COMP STORAGE WALL & WALKS SD2-5	ST	11/18/00
3. REV'D NOTE TO 'FG AT NORTH' SD10	ST	11/30/00
4. REV'D DESIGN FINISH FLOORS SD4-9	ST	2/6/01
5. REV'D INLET 'd' TO MH SD4,7,12,13	ST	2/15/02
6. RECORD DRAWING REVISIONS	ST	2/26/02



01/19/99/19/05/19/05/SDFF.DWG, LAYOUT1, 02/26/2002 01:31:08 PM, STORRETT, LISO, TANNER CONSULTING, LLC (OK CA NO. 2661 EXP. 6/30/03; TX REG# F-004367)

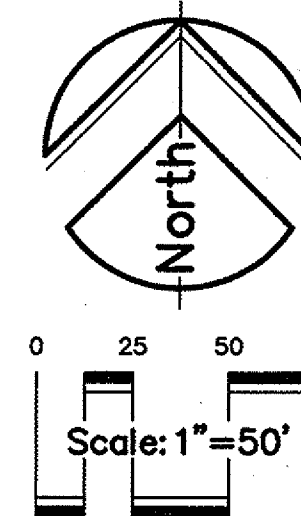
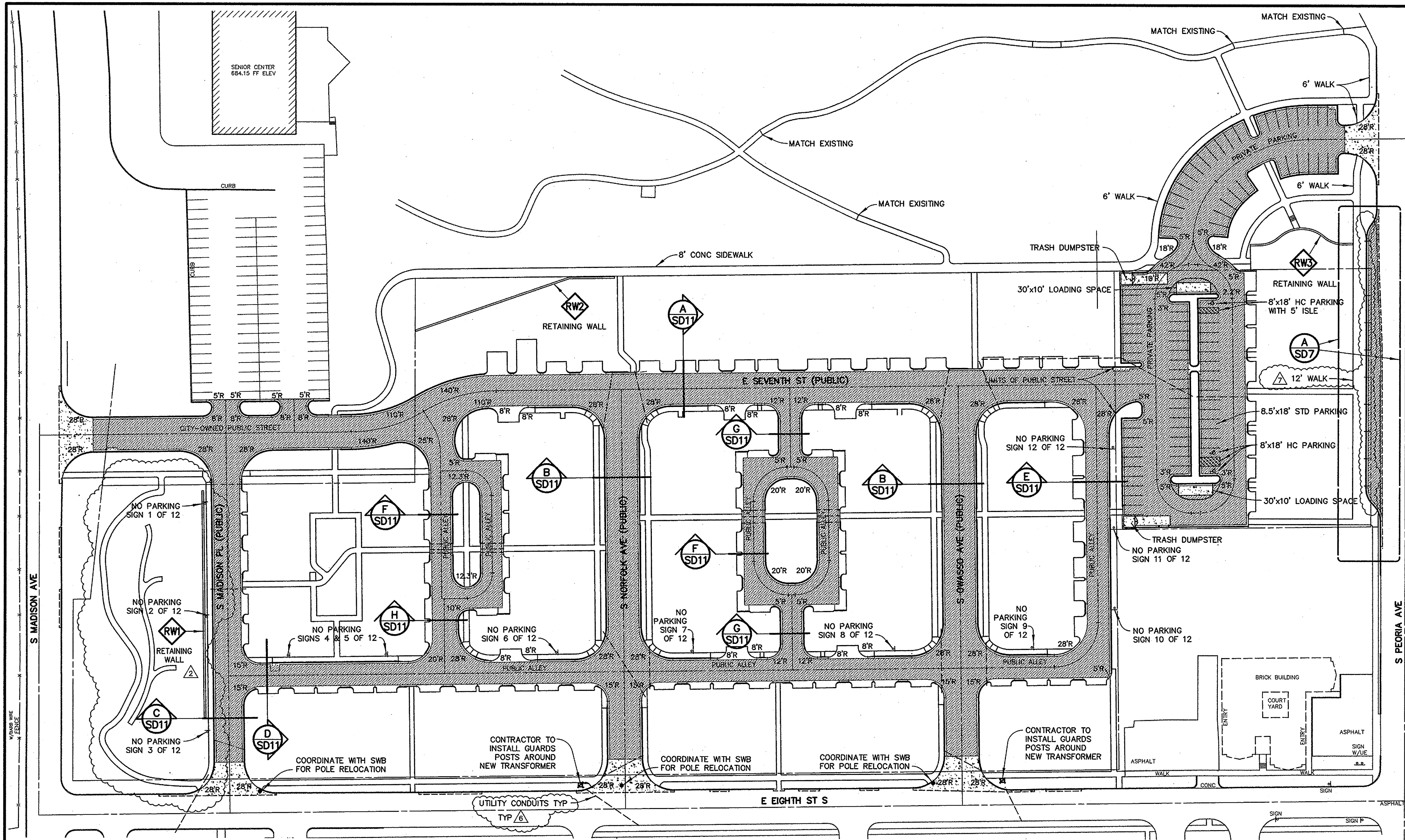
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TB\_PWD TB\_PWD\_P PLONE



#### Site Plan Notes

- 5.1 ALL FENCING, GATES, AND HANDRAILS ARE SHOWN ON LANDSCAPE PLAN, BY OTHERS. THIS FIRM ACCEPTS NO RESPONSIBILITY FOR DESIGN AND MAINTENANCE OF FENCING, GATES, OR HANDRAILS.
- 5.2 REFER TO LANDSCAPE ARCHITECT'S PLAN REGARDING TREES TO BE SAVED AND PROTECTED WITHIN CENTRAL PARK.
- 5.3 ALL DIMENSIONS ARE TO THE FACE OF BUILDING, FACE OF WALL, OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- 5.4 CONTRACTOR TO COORDINATE WITH PUBLIC WORKS REGARDING ALL STREET SIGNAGE ORDERING, PURCHASING AND INSTALLING.
- 5.5 THERE ARE THREE PAVING SECTIONS FOR THIS PROJECT: 1. FOR PARALLEL PARKING ON PEORIA, SEE DETAIL B SHEET SD7. 2. FOR ALL PUBLIC ASPHALT STREETS AND ALLEYS, SEE DETAIL J SHEET SD11. 3. FOR PRIVATE PARKING AREA, SEE TERRACON PAVING CHART ON THIS SHEET.
- 5.6 ALL SIDEWALKS ARE 5' IN WIDTH UNLESS OTHERWISE NOTED.
- 5.7 ALL SIDEWALKS TO BE CONCRETE AND CONSTRUCTED PER CITY STANDARDS AND SPECIFICATIONS.
- 5.8 ALL HANDICAP RAMPS TO BE CONSTRUCTED PER DETAIL I SHEET SD 11.
- 5.9 ALL DRIVEWAY RADII TO BE THREE (3) FOOT UNLESS OTHERWISE NOTED.
- 5.10 ALL PARKING SPACES STRIPING TO BE 4" SOLID WHITE STRIPE.

#### Fire Lane Notes

THE PUBLIC ALLEY NORTH OF LOTS 65-88, BLOCK 1 AND SOUTH MADISON PLACE ARE DESIGNATED AS FIRE LANES. ONE SIDE TO HAVE POSTED NO PARKING.

ALL FIRE LANES SHALL BE POSTED BY A SIGN IN LOCATIONS SHOWN IN THIS PLAN. SIGNS SHALL, AS CLOSELY AS POSSIBLE, APPROXIMATE THE FOLLOWING SPECIFICATIONS:

A. WHERE SIGNS ARE FREE STANDING THEY SHALL BE ABOVE AVERAGE HEAD HEIGHT TO AVOID PHYSICAL INJURY. RECOMMEND SEVEN FOOT (7') TO BOTTOM OF SIGN.

B. SIGN CONSTRUCTION SHALL BE OF HIGH INTENSITY GRADE SHEETING ON AN ALUMINUM BLANK.

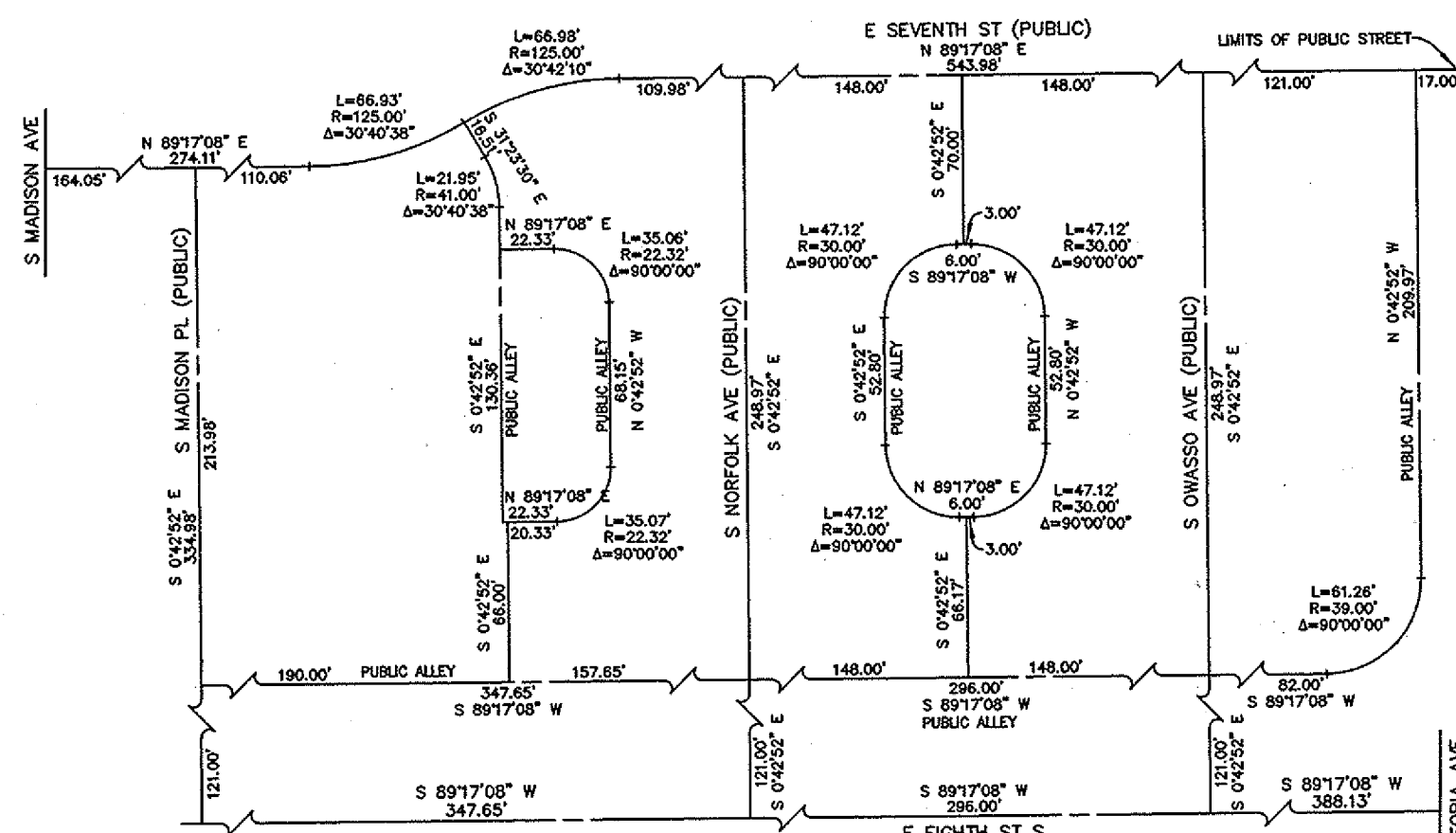
C. THE SIZE OF THE SIGN SHALL BE APPROXIMATELY EIGHTEEN INCHES (18") IN HEIGHT AND TWELVE INCHES (12") IN WIDTH.

D. THE COLOR OF THE SIGN SHALL BE RED LETTERING UPON A WHITE BACKGROUND. MUST BE DURABLE PAINT.

E. THE PRINCIPLE WORDING OF THE SIGN SHALL BE "NO PARKING FIRE LANE". AT THE BOTTOM OF THE SIGN IN SMALLER LETTER SHALL BE "CITY ORDINANCE F 313.2".

F. THE SIZE OF THE PRINCIPLE LETTERING OF THE SIGN SHALL BE APPROXIMATELY THREE INCHES (3") IN HEIGHT, ONE AND THREE QUARTER INCHES (1-3/4") IN WIDTH AND A BRUSH STROKE WIDTH OF APPROXIMATELY THREE EIGHTHS INCH (3/8"). THE SMALL LETTERING AT THE BOTTOM SHALL BE APPROXIMATELY THREE-QUARTERS INCH (3/4") IN EIGHTH AND LEGIBLE AT A DISTANCE OF TEN FEET (10').

**NO PARKING  
FIRE LANE**  
CITY ORDINANCE F313.2



**A Public Paving Centerline Geometry**  
SCALE: NONE

#### Private Parking Paving Section Chart

PAVING SECTIONS ARE PER THE TERRACON SUBSURFACE EXPLORATION REPORT FOR PROPOSED VILLAGE AT CENTRAL PARK PROJECT NO. 04005048, DATED MARCH 21, 2000.

PAVEMENT SECTION I (ASPHALTIC CONCRETE OVER TREATED SUBGRADE)	HEAVY DUTY		LIGHT DUTY	
	2.0" TYPE "C"	4.5" TYPE "A"	2.0" TYPE "C"	3.0" TYPE "A"
	8.0" TREATED SUBGRADE	8.0" TREATED SUBGRADE	8.0" TREATED SUBGRADE	8.0" TREATED SUBGRADE
PAVEMENT SECTION II (ASPHALTIC CONCRETE OVER AGGREGATE BASE OVER TREATED SUBGRADE)	2.0" TYPE "C"	2.5" TYPE "A"	3.0" TYPE "C"	6.0" AGGREGATE BASE
	8.0" TREATED SUBGRADE	8.0" TREATED SUBGRADE	8.0" TREATED SUBGRADE	8.0" TREATED SUBGRADE

PAVEMENT SECTION II (3,500 PSI AIR ENTRAINED PORTLAND CEMENT CONCRETE OVER TREATED SUBGRADE)	6.0" CONCRETE	8.0" CONCRETE
	8.0" TREATED SUBGRADE	8.0" TREATED SUBGRADE

\*OKLAHOMA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS

THE PAVEMENTS AT TRASH DUMPSTER AND LOADING DOCK AREAS TO CONSIST OF A MINIMUM OF 7 INCHES OF REINFORCED CONCRETE UNDERLAIN BY 8-INCH TREATED SUBGRADE.

#### Contact List:

STORM SEWER  
CITY OF TULSA  
GARY MCCORMICK  
2317 SOUTH JACKSON  
TULSA, OK 74107  
PH: (918) 596-1287

TRANSPORTATION  
CITY OF TULSA  
HENRY SOMDECERFF  
2317 SOUTH JACKSON  
TULSA, OK 74107  
PH: (918) 596-9235

SANITARY SEWER  
CITY OF TULSA  
STEVE BOLDING  
2317 SOUTH JACKSON  
TULSA, OK 74107  
PH: (918) 596-9579

PSO  
RICK BYNUM  
212 EAST 6TH STREET  
TULSA, OK 74119  
PH: (918) 599-2301

COX COMMUNICATIONS  
CRAIG IRONS  
6650 EAST 44TH STREET  
TULSA, OK 74145  
PH: (918) 668-4866

TULSA PARKS  
CITY OF TULSA  
STEVE HATFIELD  
1710 W CHARLES PAGE BLVD  
TULSA, OK 74127  
PH: (918) 596-7868

TRAFFIC  
CITY OF TULSA  
DARRYL FRENCH  
200 CIVIC CENTER  
TULSA, OK 74101  
PH: (918) 596-9744

WATERLINE  
CITY OF TULSA  
CRYSTAL MURPHREE  
2317 SOUTH JACKSON  
TULSA, OK 74107  
PH: (918) 596-9580

SWB TELEPHONE  
BERNIE NALLY  
5305 EAST 71ST STREET  
TULSA, OK 74136  
PH: (918) 596-6702

OKLAHOMA NATURAL GAS  
JERRY HIXSON-TOM HERMAN  
5848 EAST 15TH STREET  
TULSA, OK 74102  
PH: (918) 831-8219 831-8262

#### Record Plans

TO THE BEST OF MY KNOWLEDGE,  
FROM THE INFORMATION AVAILABLE,  
THIS PLAN IS IN SUBSTANTIAL  
COMPLIANCE WITH RECORD CONSTRUCTION.

DAN E. TANNER, P.E., P.L.S.  
3/05/2002

ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE  
WITH CURRENT CITY OF TULSA PUBLIC WORKS  
DEPARTMENT SPECIFICATIONS, INCLUDING D.O.O.T.  
1988 EDITION.

REVISION	BY	DATE
1. RAISE DESIGN FF LOT 35/36 SD4 & 6	ST	10/6/00
2. COMP STORAGE WALL & WALKS SD2-5	ST	11/18/00
3. REV'D NOTE TO "FG AT NORTH" SD10	ST	11/30/00
4. REV'D DESIGN FINISH FLOORS SD4-9	ST	2/8/01
5. REV'D INLET "d" TO MH SD4,7,12,13	ST	2/15/02
6. RECORD DRAWING REVISIONS	ST	2/26/02
7. REV'D PEORIA PARKING AREA SD3,4,7,8	ST	3/5/02
8. AS RECORD DRAWING REVISIONS		

TANNER CONSULTING, LLC CERTIFICATE OF AUTHORIZATION NO. CA 2661 EXP. 6/30/2003

**The Village at Central Park**

**PFPI No. 2740**

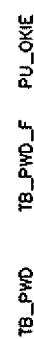
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**Tanner Consulting, LLC**

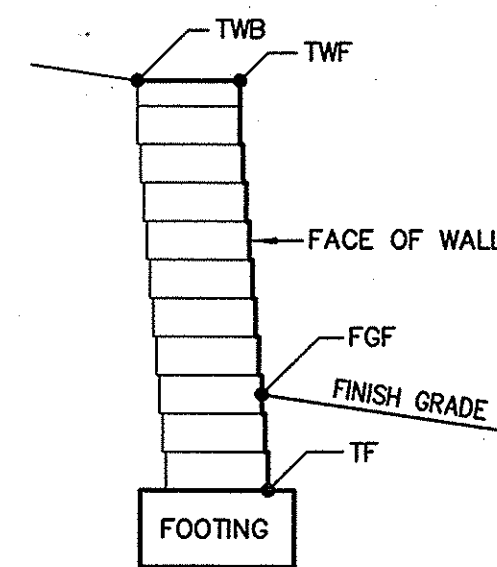
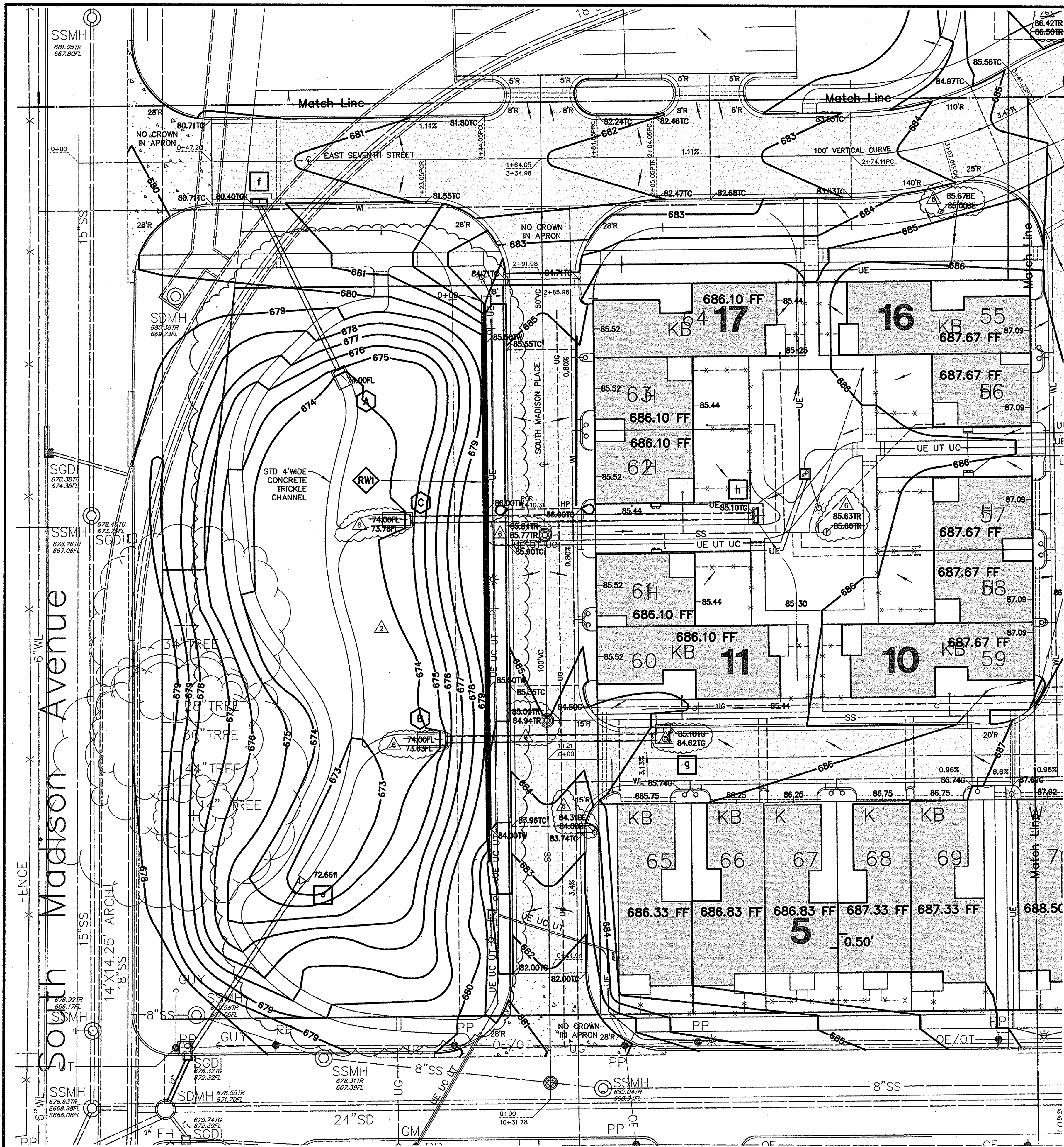
PLANS AND ESTIMATE PREPARED BY: 5323 SOUTH LEWIS AVENUE • TULSA, OKLAHOMA 74105 • (918) 745-9929

PLAN SCALE	PROPOSED SITE PLAN	APPROVED
1"= 50'	RECOMMENDED	
PROFILE SCALE	RECOMMENDED	
HORIZONTAL:	DEVELOPMENT SERVICES	
VERTICAL:	RECOMMENDED	
NA	ENGINEERING SERVICES	
NA		PUBLIC WORKS DIRECTOR
FILE:	PROJECT: 9053	DATE:
ATLAS PAGE NO: 1		SHEET SD3 OF 14 SHEETS

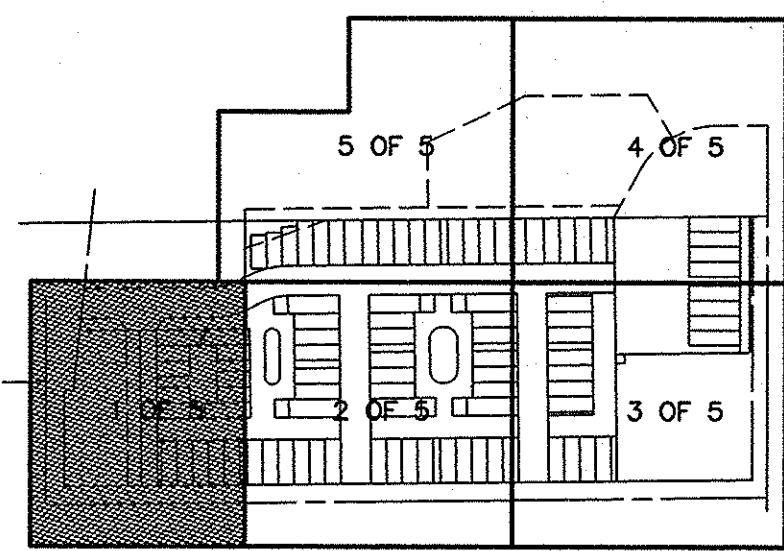
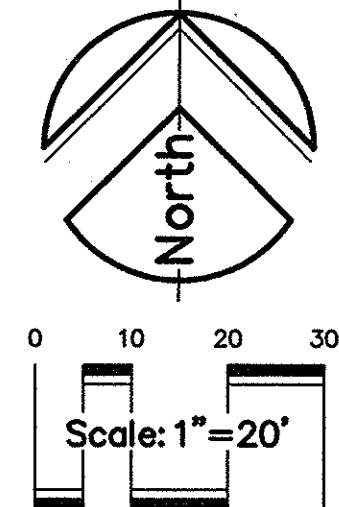






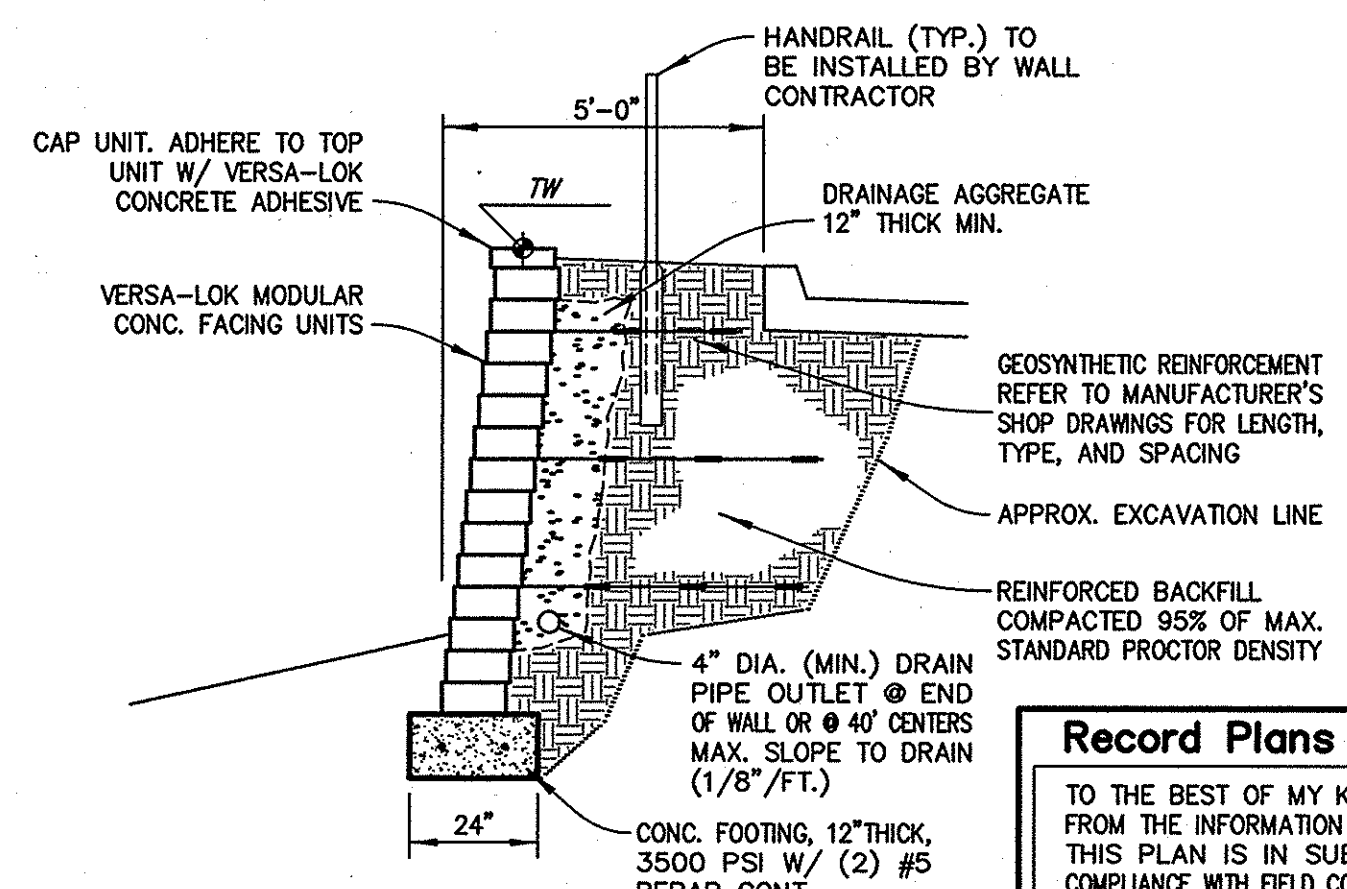
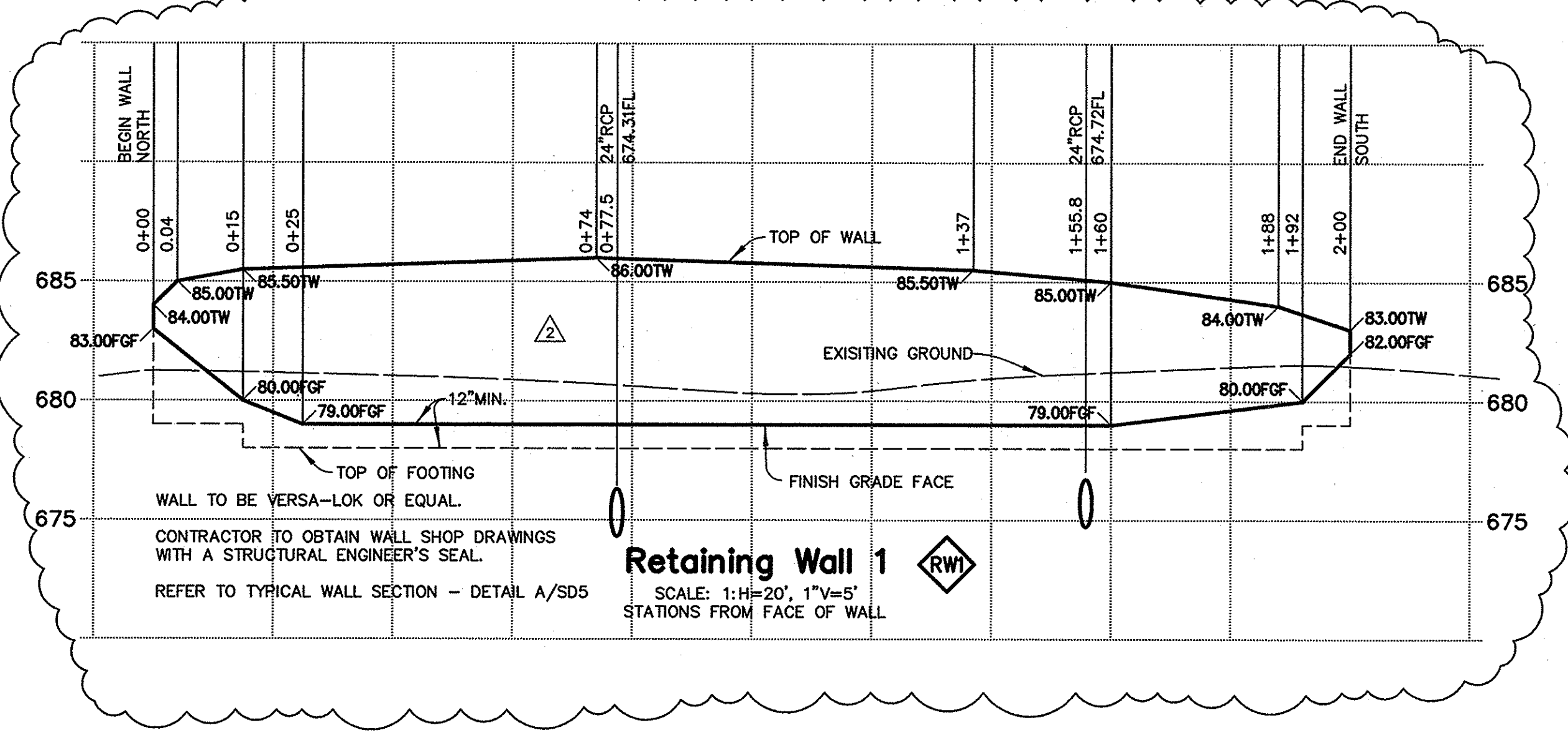


**Retaining Wall Legend**  
CONSTRUCTION STAKES WILL BE MARKED AS SHOWN.



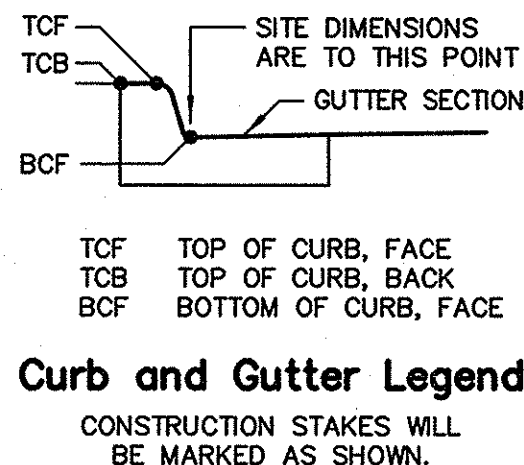
**Grading Key**

**Benchmark** ♦  
CHISELED BOX ON THE NORTH WEST CURB RETURN OF SOUTH PEORIA AVENUE AND EAST 8TH STREET SOUTH.  
ELEVATION= 698.83 (NGVD)



**Typical Wall Section**  
SCALE: NONE

**Record Plans**  
TO THE BEST OF MY KNOWLEDGE, FROM THE INFORMATION AVAILABLE, THIS PLAN IS IN SUBSTANTIAL COMPLIANCE WITH FIELD CONSTRUCTION.  
DAN E. TANNER, P.E., P.L.S.  
2/26/2002



**Curb and Gutter Legend**  
CONSTRUCTION STAKES WILL BE MARKED AS SHOWN.

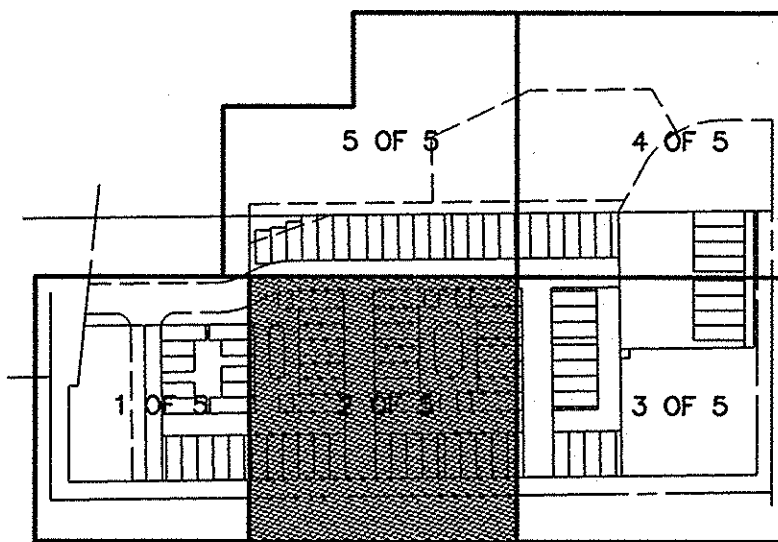
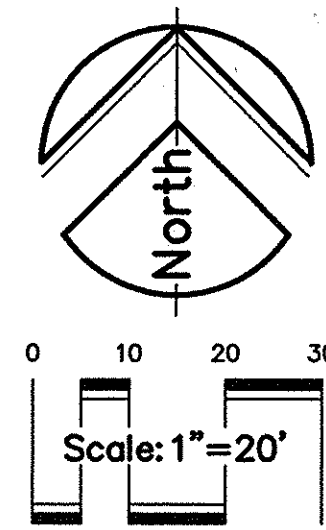
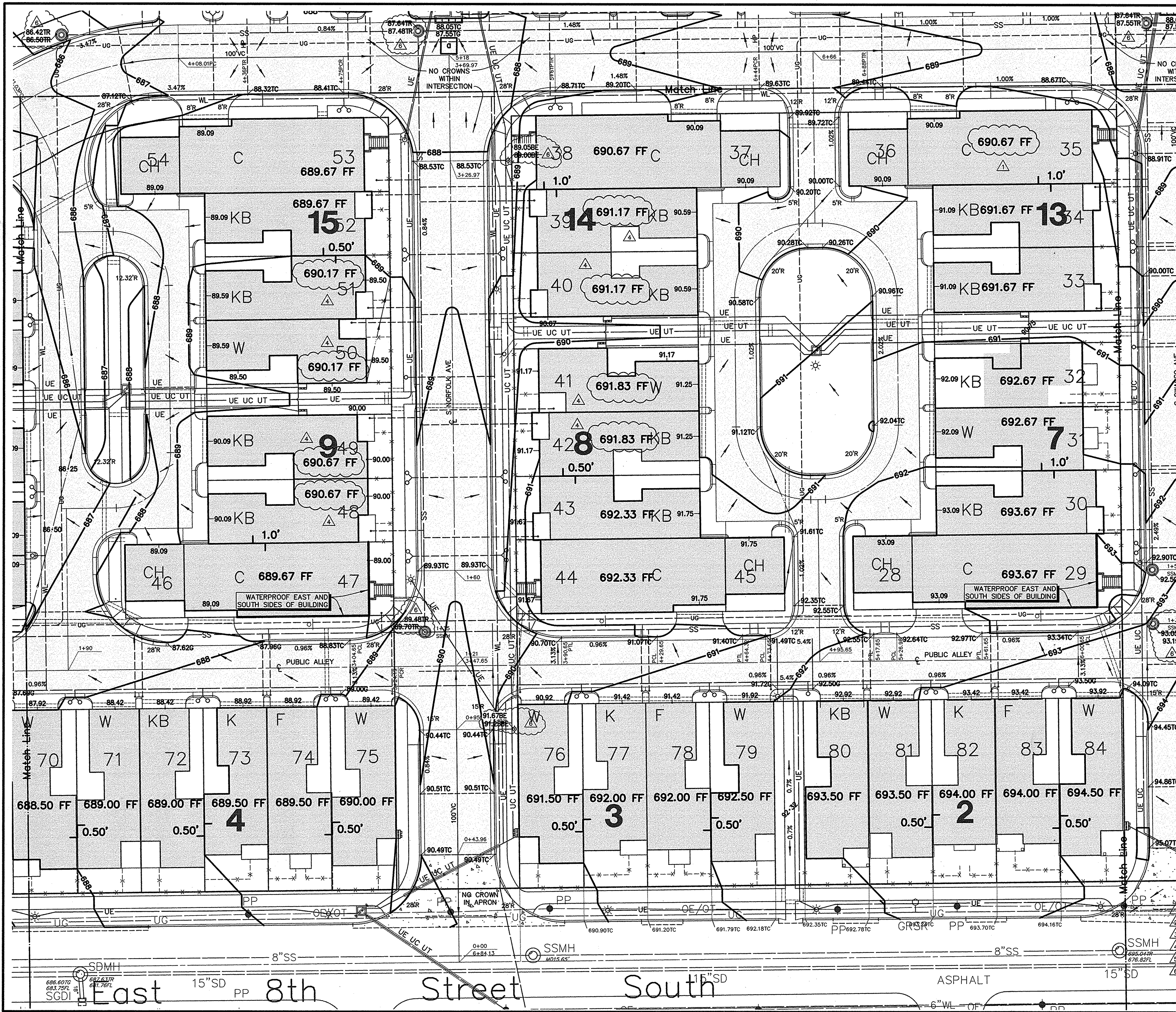
RECORD PLANS DWG. #11569  
TANNER CONSULTING, LLC CERTIFICATE OF AUTHORIZATION NO. CA 2661 EXP. 6/30/2003


<b>The Village at Central Park</b>		
<b>PFPI No. 2740</b>		
<b>City of Tulsa, Oklahoma</b>		
<b>Tanner Consulting, LLC</b>		
PLANS AND ESTIMATE PREPARED BY: 5323 SOUTH LEWIS AVENUE • TULSA, OKLAHOMA 74105 • (918)745-9929		
REVISION	BY	DATE
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PLAN SCALE	1"=20'	
PROFILE SCALE	RECOMMENDED	
HORIZONTAL:	NA	
VERTICAL:	NA	
FILE:	PROJECT: 9053	DATE:
ATLAS PAGE NO: 1	SHEET SD5 OF 14 SHEETS	



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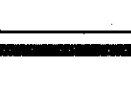


**Benchmark**   
CHISELED BOX ON THE NORTH WEST  
CURB RETURN OF SOUTH PEORIA AVENUE  
AND EAST 8TH STREET SOUTH.  
ELEVATION= 698.83 (NGVD)

**Grading Key** 

TCF TOP OF CURB, FACE  
TCB TOP OF CURB, BACK  
BCF BOTTOM OF CURB, FACE

**Curb and Gutter Legend**  
CONSTRUCTION STAKES WILL  
BE MARKED AS SHOWN.

Grading Legend	
TC	TOP OF CURB
TP	TOP OF PAVING
C	GUTTER
TG	TOP GRADE (INLET FLOWLINE)
TR	MANHOLE TOP RIM
HP	HIGH POINT
LP	LOW POINT
FL	FLOWLINE
TW	TOP OF WALL
FGF	FINISH GRADE FACE
SD	STORM SEWER PIPE
SS	SANITARY SEWER PIPE
SSL	SANITARY SEWER SERVICE LINE
WL	WATERLINE
WSL	WATER SERVICE LINE
	CUT SYMBOL: DETAIL NUMBER SHEET NUMBER
	INFLOW STRUCTURE LABEL
	CONNECTION STRUCTURE LABEL
	OUTFLOW STRUCTURE LABEL

**Record Plans**  
TO THE BEST OF MY KNOWLEDGE,  
FROM THE INFORMATION AVAILABLE,  
THIS PLAN IS IN SUBSTANTIAL  
COMPLIANCE WITH FIELD CONSTRUCTION.  
DAN E. TANNER, P.E., P.L.S.  
2/26/2002

REVISION			BY	DATE
RAISE DESIGN FF LOT 35/36 SD4 & 6			ST	10/6/00
COMP STORAGE WALL & WALKS SD2-5			ST	11/18/00
REV'D NOTE TO 'FG AT NORTH' SD10			ST	11/30/01
REV'D DESIGN FINISH FLOORS SD4-9			ST	2/6/01
REV'D INLET '4' TO MH SD4,7,12,13			ST	2/15/02
RECORD DRAWING REVISIONS			ST	2/26/02

RECORD PLANS DWG. #11569

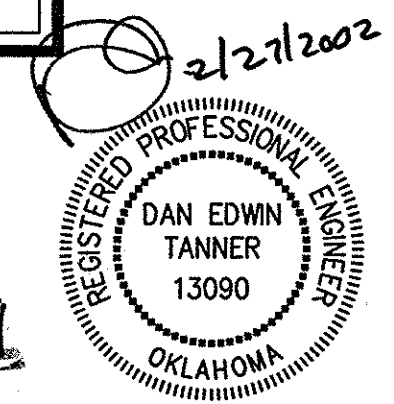
TANNER CONSULTING, LLC CERTIFICATE OF AUTHORIZATION NO. CA 2661 EXP. 6/30/2003

**The Village at Central Park**  
**PFPI No. 2740**  
**City of Tulsa, Oklahoma**

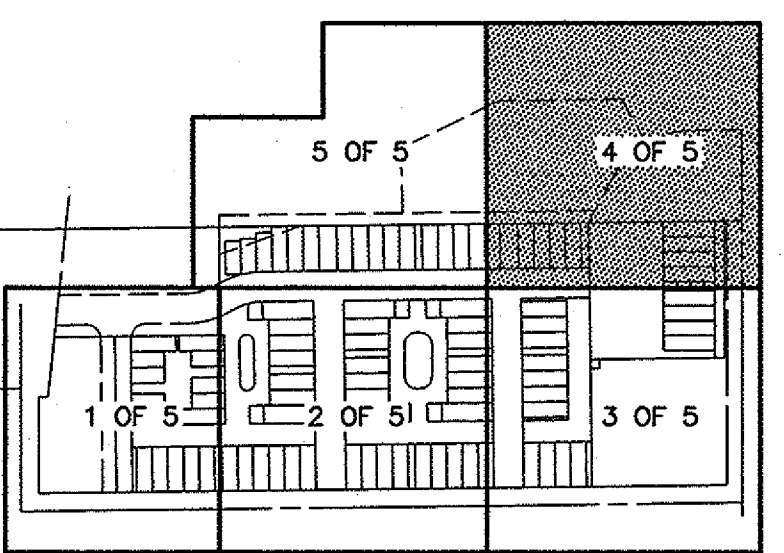
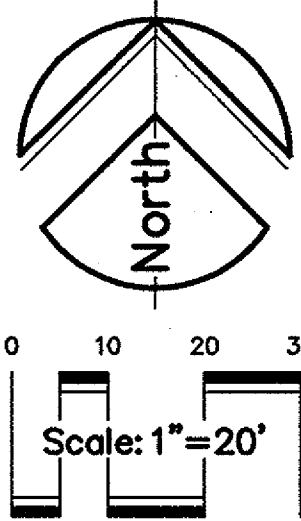
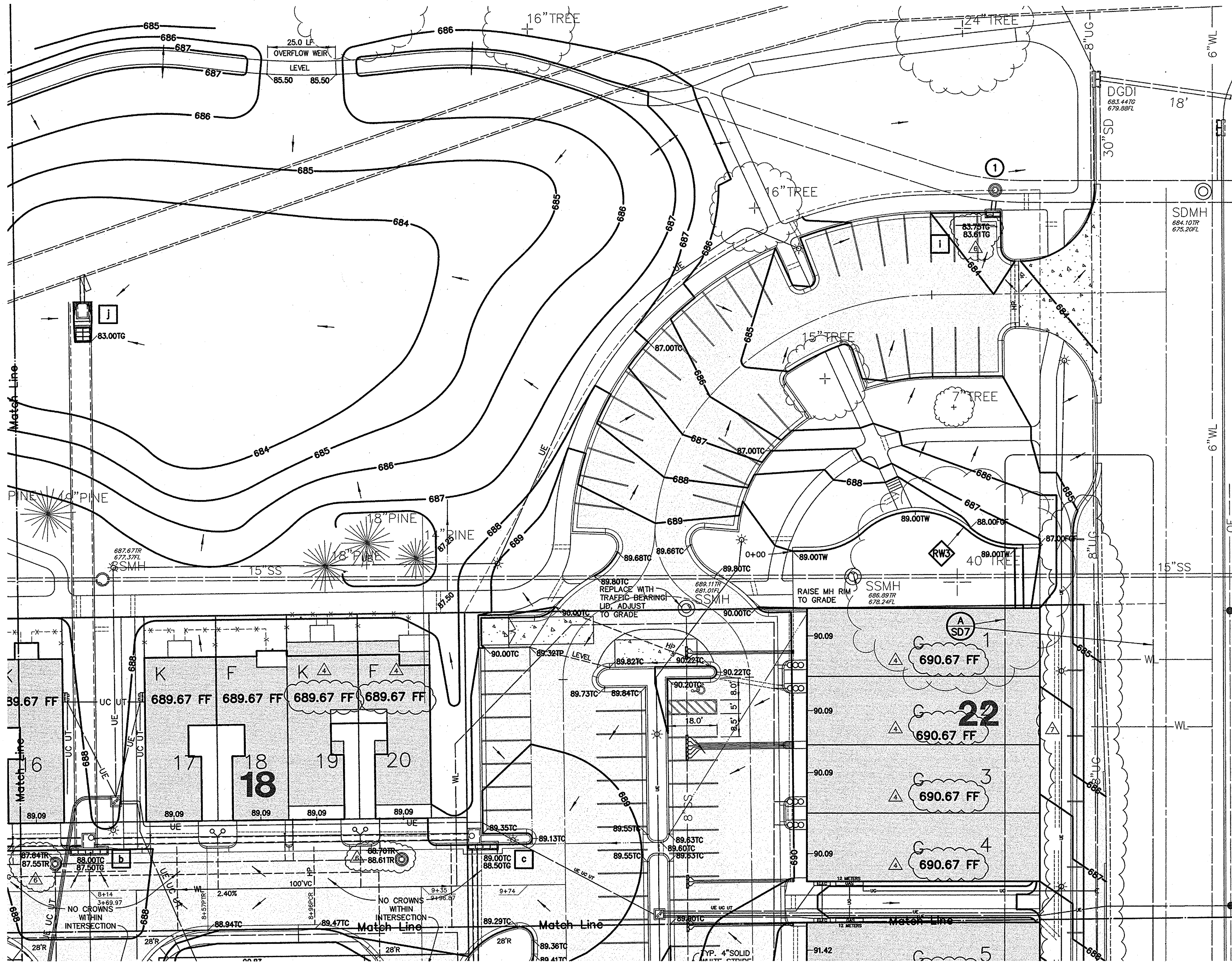
PLANS AND  
ESTIMATE  
PREPARED BY:  
5323 SOUTH LEWIS AVENUE • TULSA, OKLAHOMA 74105 • (918)745-9929

**Tanner Consulting, LLC**

PLAN SCALE <b>1"=20"</b>	GRADING PLAN <b>2 OF 5</b>	APPROVED
PROFILE SCALE RECOMMENDED	RECOMMENDED	
HORIZONTAL: NA	DEVELOPMENT SERVICES RECOMMENDED	
VERTICAL: NA	ENGINEERING SERVICES	
FILE: ATLAS PAGE NO: 1	PROJECT: 9053	DATE:
		SHEET <b>SD6</b> OF <b>14</b> SHEETS

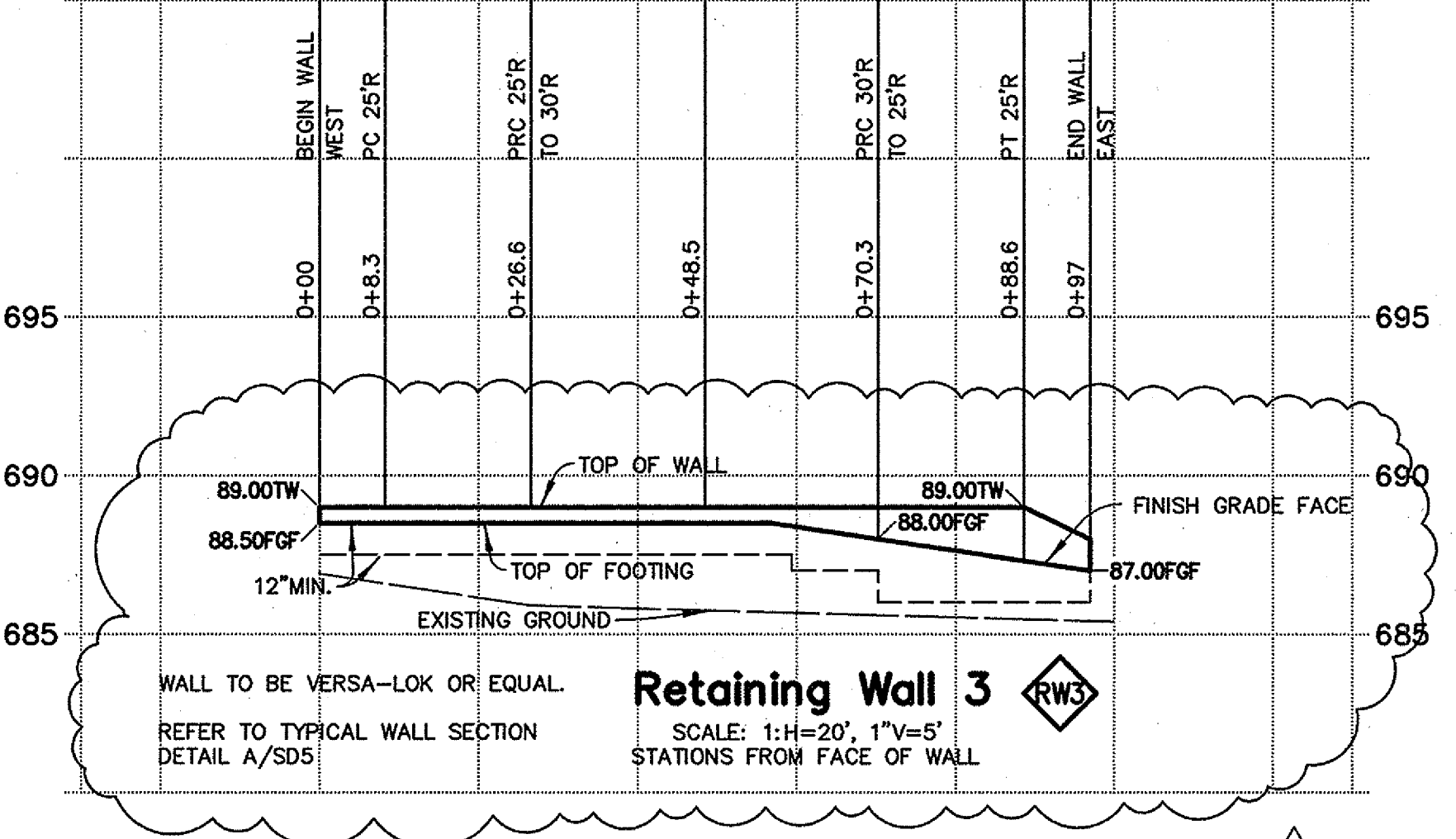






**Benchmark**  $\blacklozenge$   
CHISELED BOX ON THE NORTH WEST  
CURB RETURN OF SOUTH PEORIA AVENUE  
AND EAST 8TH STREET SOUTH.  
ELEVATION= 698.83 (NGVD)

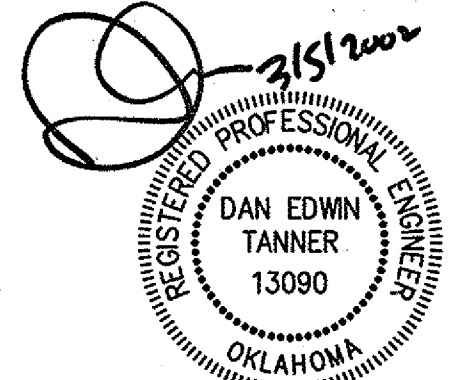
**Grading Key**



TCF TOP OF CURB, FACE  
TCB TOP OF CURB, BACK  
BCF BOTTOM OF CURB, FACE

**Curb and Gutter Legend**  
CONSTRUCTION STAKES WILL  
BE MARKED AS SHOWN.

**RECORD DRAWING**  
11,569



**Record Plans**  
TO THE BEST OF MY KNOWLEDGE,  
FROM THE INFORMATION AVAILABLE,  
THIS PLAN IS IN SUBSTANTIAL  
COMPLIANCE WITH FIELD CONSTRUCTION.  
DAN E. TANNER, P.E., P.L.S.  
3/05/2002

TANNER CONSULTING, LLC CERTIFICATE OF AUTHORIZATION NO. CA 2661 EXP. 6/30/2003

**The Village at Central Park**  
PFPI No. 2740

**City of Tulsa, Oklahoma**

**Tanner Consulting, LLC**

ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE  
WITH CURRENT CITY OF TULSA PUBLIC WORKS  
DEPARTMENT SPECIFICATIONS, INCLUDING O.D.O.T.  
1988 EDITION.

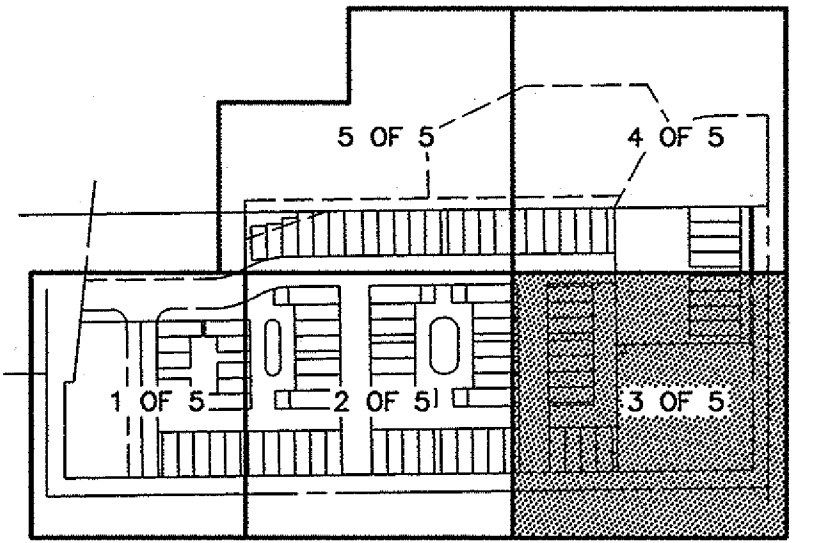
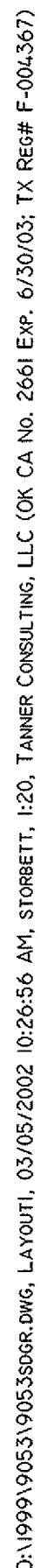
PLANS AND  
ESTIMATE  
PREPARED BY:  
5323 SOUTH LEWIS AVENUE • TULSA, OKLAHOMA 74105 • (918)745-9929

REVISION	BY	DATE	PLAN SCALE	GRADING PLAN	APPROVED
RAISE DESIGN FF LOT 35/36 SD4 & 6	ST	10/6/00	1"=20'	4 OF 5	
COMP STORAGE WALL & WALKS SD2-5	ST	11/18/00			
REVD NOTE TO 'FG AT NORTH' SD10	ST	11/30/00	PROFILE SCALE	RECOMMENDED	
REVD DESIGN FINISH FLOORS SD4-9	ST	2/6/01	HORIZONTAL:	DEVELOPMENT SERVICES	
REVD INLET 'd' TO MH SD4,7,12,13	ST	2/15/02	VERTICAL:	RECOMMENDED	
RECORD DRAWING REVISIONS	ST	2/26/02	NA	ENGINEERING SERVICES	
REVD PEORIA PARKING AREA SD3,4,7,8	ST	3/5/02	NA		
AS RECORD DRAWING REVISIONS			FILE:	PROJECT: 9053	DATE:
			ATLAS PAGE NO: 1		SHEET SD8 OF 14 SHEETS

EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT  
KNOWN AND PLANS HAVE BEEN SENT TO THE AFFECTED UTILITY  
OWNERS FOR VERIFICATION OF EXISTING LINES. BEFORE YOU DIG,  
CONTACT OKIE: 1-800-522-6543.

A T & T COMPANY  
COX COMMUNICATIONS  
OKLAHOMA NATURAL GAS COMPANY  
SOUTHWESTERN BELL TELEPHONE COMPANY  
PUBLIC SERVICE COMPANY OF OKLAHOMA





## Grading Key

1. ALL PAVING, SIDEWALK AND CURB CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF TULSA PUBLIC WORKS DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS.
2. ALL NEW PAVING SHALL BE SAND-BLASTED PRIOR TO STRIPING TO ASSURE PROPER BONDING OF THE MARKINGS.
3. ALL PAVEMENT MARKING SHALL CONSIST OF HOT APPLIED THERMOPLASTIC COMPOUND IN ACCORDANCE WITH SECTION 855A OF THE ODOT SPECIFICATIONS. MINIMUM THICKNESS OF LINES SHALL BE 0.120 INCHES.
4. CONTRACTOR TO MAINTAIN ORANGE PLASTIC SAFETY DRUMS AT 40' O.C. UNTIL THE FINAL STRIPING IS IN PLACE.



RECORD DRAWING  
11,569



## The Village at Central Park

PFPI No. 2740

City of Tulsa, Oklahoma

**Tanner Consulting, LLC**

ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF TULSA PUBLIC WORKS DEPARTMENT SPECIFICATIONS, INCLUDING O.D.O.T. 1988 EDITION.			PLANS AND ESTIMATE PREPARED BY:		<b>Tanner Consulting, LLC</b> 5323 SOUTH LEWIS AVENUE • TULSA, OKLAHOMA 74105 • (918)745-9929	
	REVISION	BY	DATE	PLAN SCALE	<b>GRADING PLAN</b> <b>3 OF 5</b>	APPROVED
1	RAISE DESIGN FF LOT 35/36 SD4 & 6	ST	10/6/00	1"=20'		
2	COMP STORAGE WALL & WALKS SD2-5	ST	11/18/00			
3	REVD NOTE TO 'FG AT NORTH' SD10	ST	11/30/00	PROFILE SCALE	RECOMMENDED	
4	REVD DESIGN FINISH FLOORS SD4-9	ST	2/6/01	HORIZONTAL:	DEVELOPMENT SERVICES	
5	REVD INLET 'd' TO MH SD4,7,12,13	ST	2/15/02	VERTICAL:	RECOMMENDED	
6	RECORD DRAWING REVISIONS	ST	2/26/02	NA		PUBLIC WORKS DIRECTOR
7	REVD PEORIA PARKING AREA SD3,4,7,8	ST	3/5/02	NA	ENGINEERING SERVICES	
	AS RECORD DRAWING REVISIONS			FILE:	PROJECT: 9053	DATE:
				ATLAS PAGE NO:	1	SHEET <b>SD7 OF 14</b> SHEETS

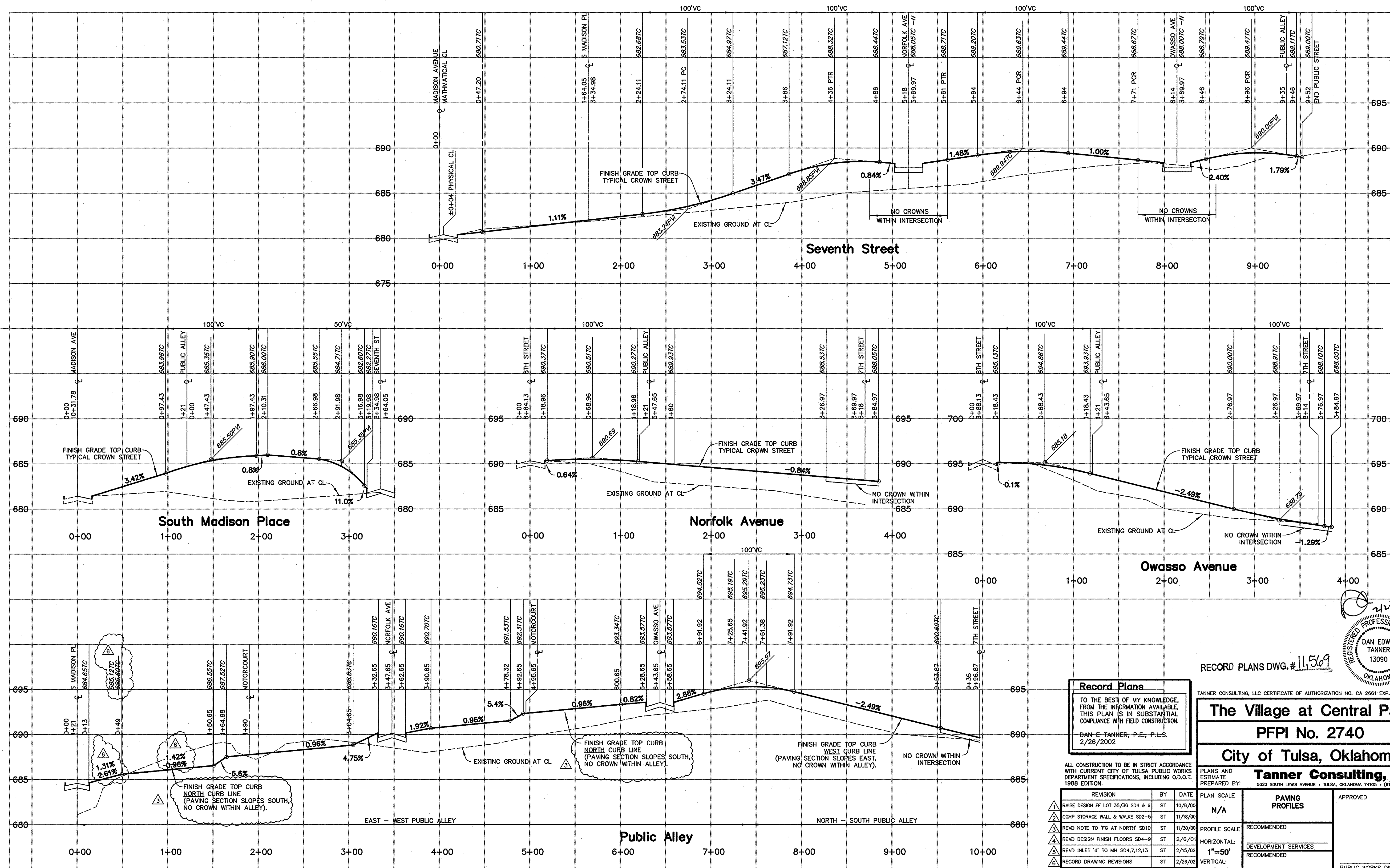






O:\1999\053\053\SDVP.DWG, LAYOUT1, 02/26/2002 01:32:46 PM, STORRETT, ISO, TANNER CONSULTING, LLC (OK CA No. 2661 EXP. 6/30/03; TX REG# F-000367)

TBL\_PWD  
TBL\_PWD  
TBL\_PWD



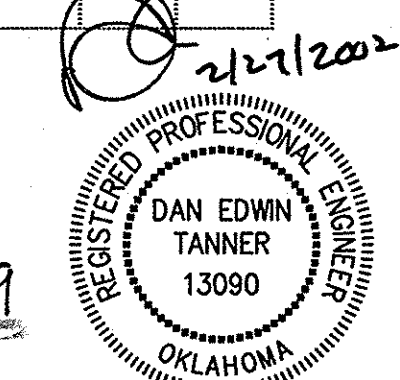
**Record Plans**  
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FROM THE INFORMATION AVAILABLE,  
THIS PLAN IS IN SUBSTANTIAL  
COMPLIANCE WITH FIELD CONSTRUCTION.  
DAN E. TANNER, P.E., P.L.S.  
2/26/2002

ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE  
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DEPARTMENT SPECIFICATIONS, INCLUDING O.D.O.T.  
1988 EDITION.

REVISION	BY	DATE
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5. REV'D INLET 'd' TO MH SD4,7,12,13	ST	2/15/02
6. RECORD DRAWING REVISIONS	ST	2/26/02

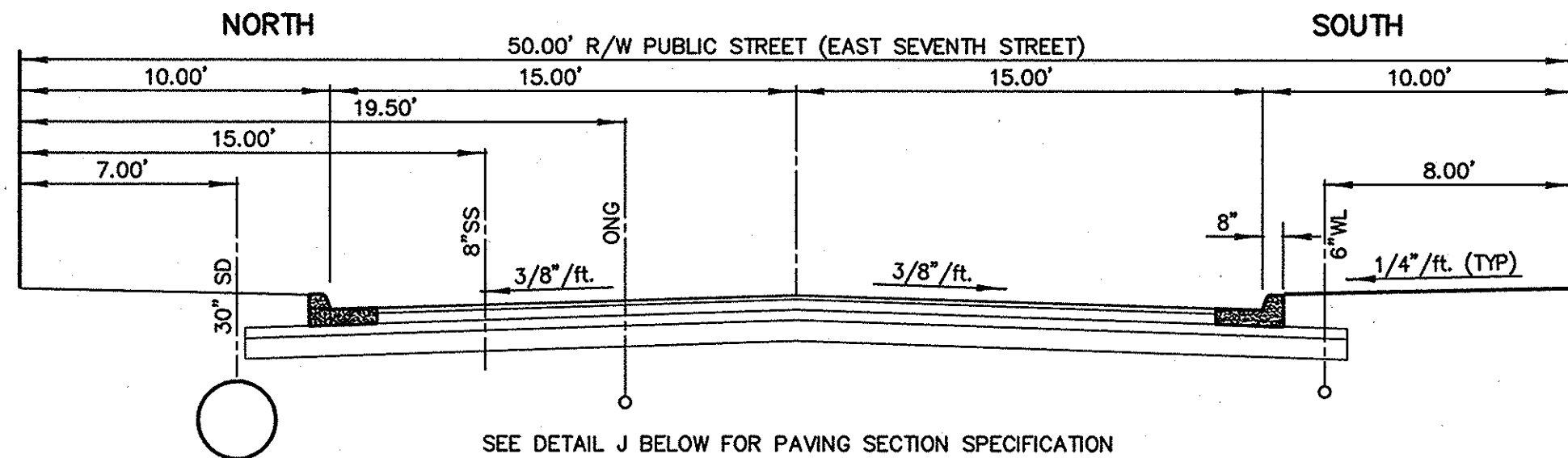
PLAN SCALE	PAVING PROFILES	APPROVED
N/A	RECOMMENDED	PUBLIC WORKS DIRECTOR
PROFILE SCALE	RECOMMENDED	
HORIZONTAL:	RECOMMENDED	
VERTICAL:	RECOMMENDED	
FILE:	PROJECT: 9053	DATE:
ATLAS PAGE NO:	1	SHEET SD100F 14 SHEETS

RECORD PLANS DWG. # 11,569

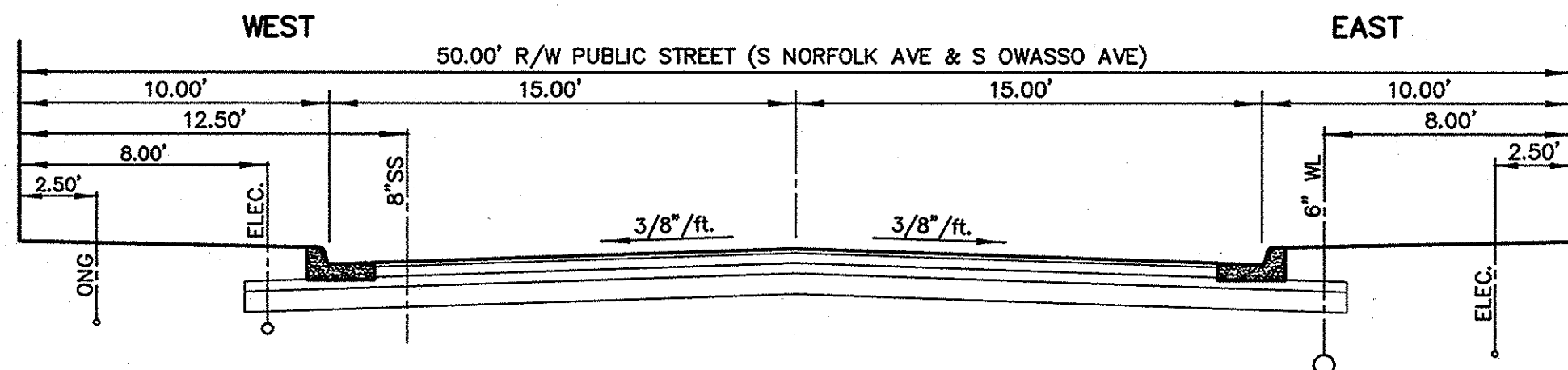


TANNER CONSULTING, LLC CERTIFICATE OF AUTHORIZATION NO. CA 2661 EXP. 6/30/2003  
**The Village at Central Park**  
**PFPI No. 2740**  
**City of Tulsa, Oklahoma**  
**Tanner Consulting, LLC**  
5323 SOUTH LEWIS AVENUE • TULSA, OKLAHOMA 74105 • (918) 745-9929

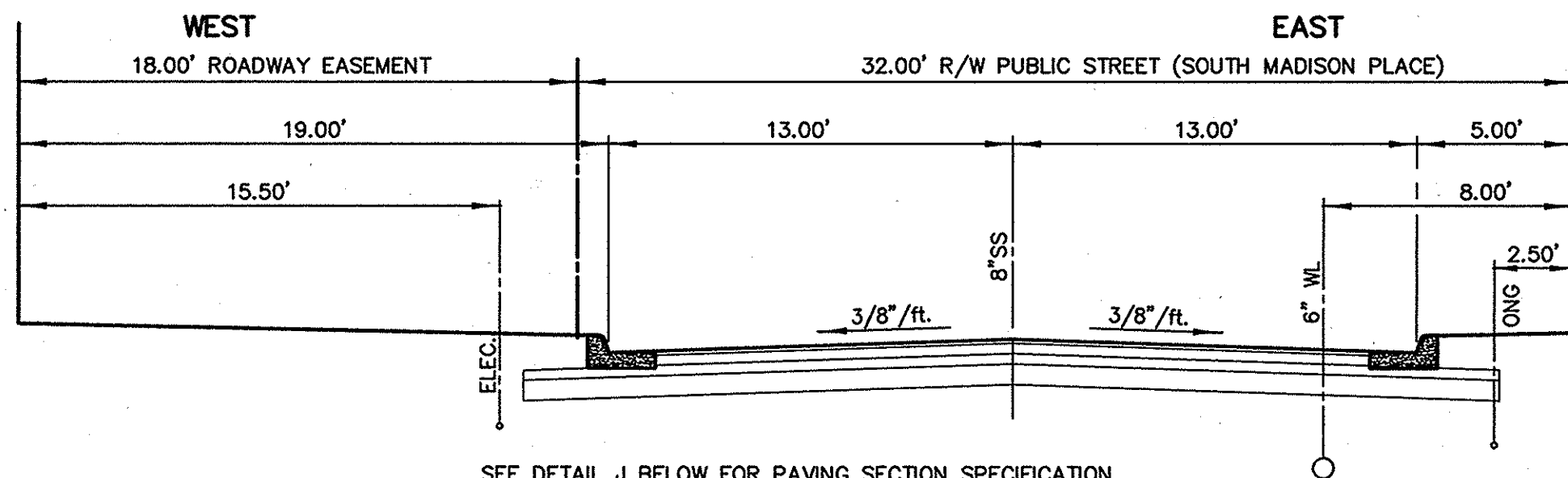




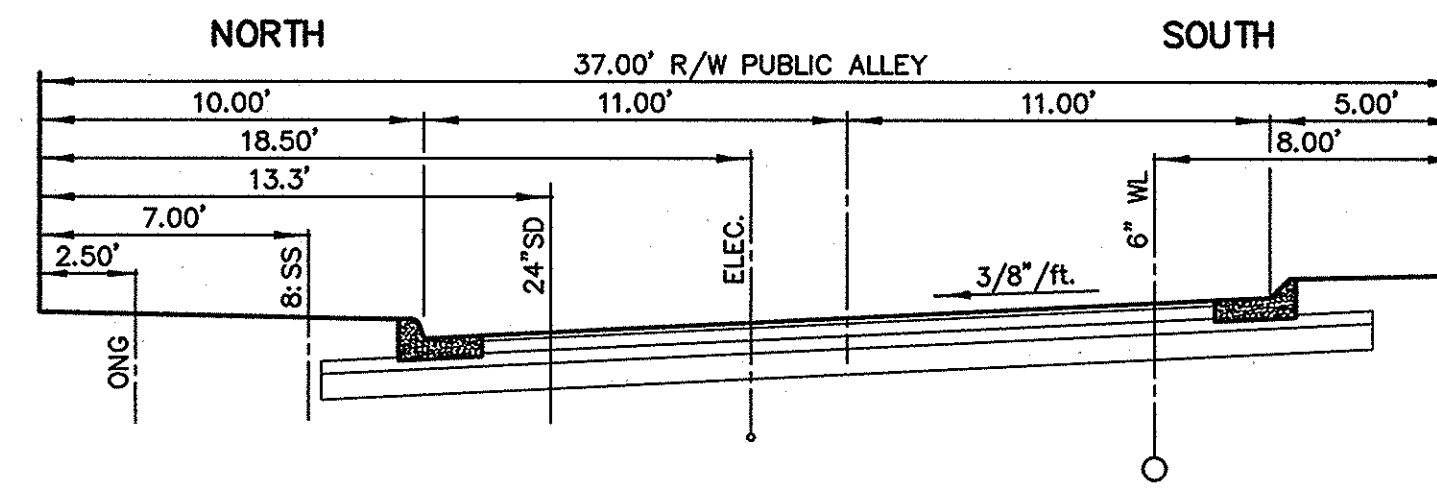
SEE DETAIL J BELOW FOR PAVING SECTION SPECIFICATION  
**(A) 50' R/W & 30' Paving Centered**  
 SCALE: NONE



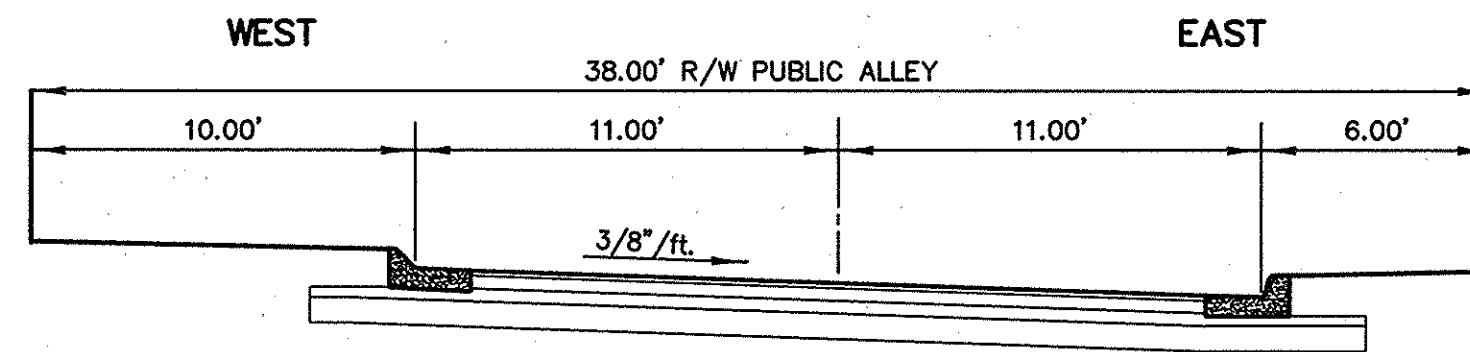
SEE DETAIL J BELOW FOR PAVING SECTION SPECIFICATION  
**(B) 50' R/W & 30' Paving Centered**  
 SCALE: NONE



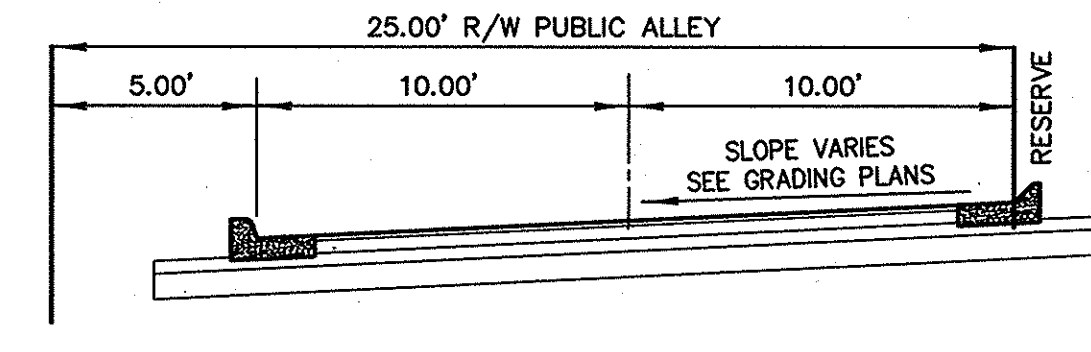
SEE DETAIL J BELOW FOR PAVING SECTION SPECIFICATION  
**(C) 50' R/W & 26' Paving Offset**  
 SCALE: NONE



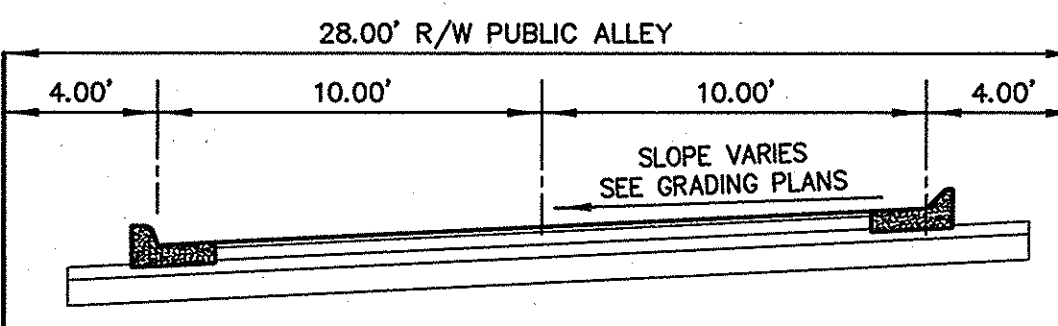
SEE DETAIL J BELOW FOR PAVING SECTION SPECIFICATION  
**(D) 37' R/W & 22' Paving Offset**  
 SCALE: NONE



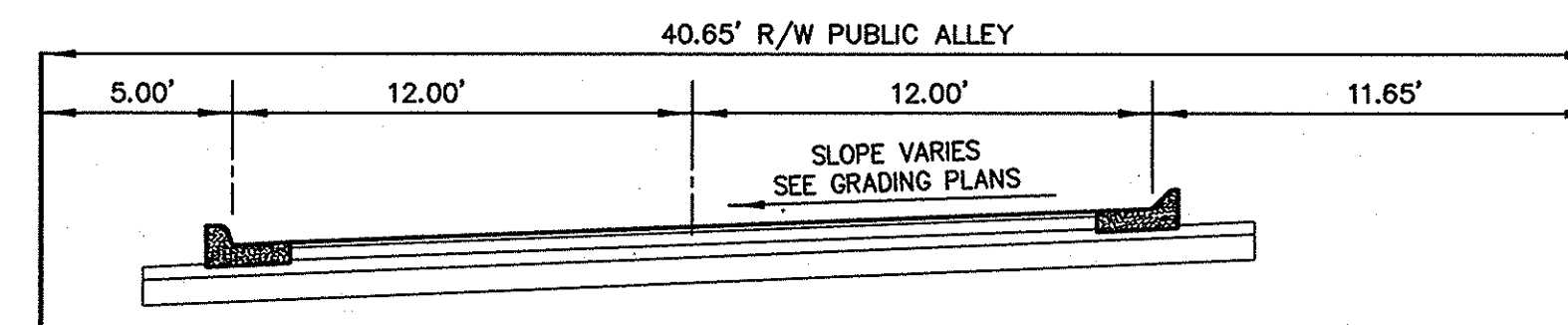
SEE DETAIL J BELOW FOR PAVING SECTION SPECIFICATION  
**(E) 38' R/W & 22' Paving Offset**  
 SCALE: NONE



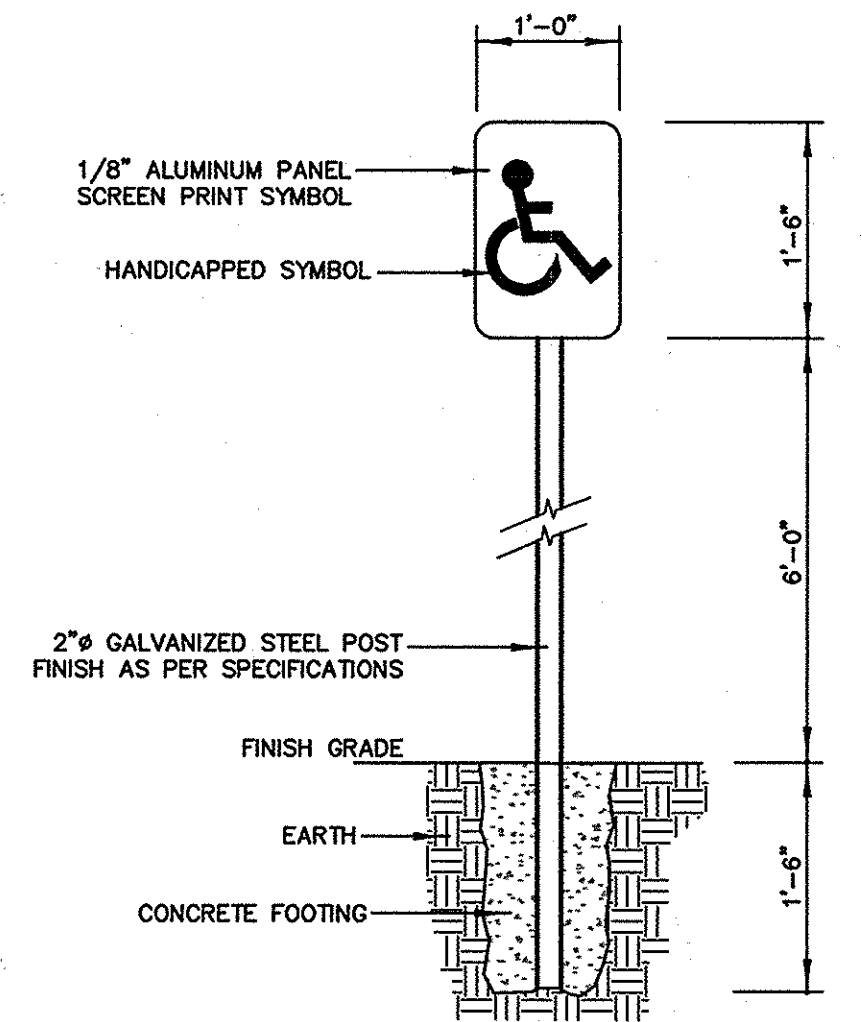
SEE DETAIL J BELOW FOR PAVING SECTION SPECIFICATION  
**(F) 25' R/W & 20' Paving Offset**  
 SCALE: NONE



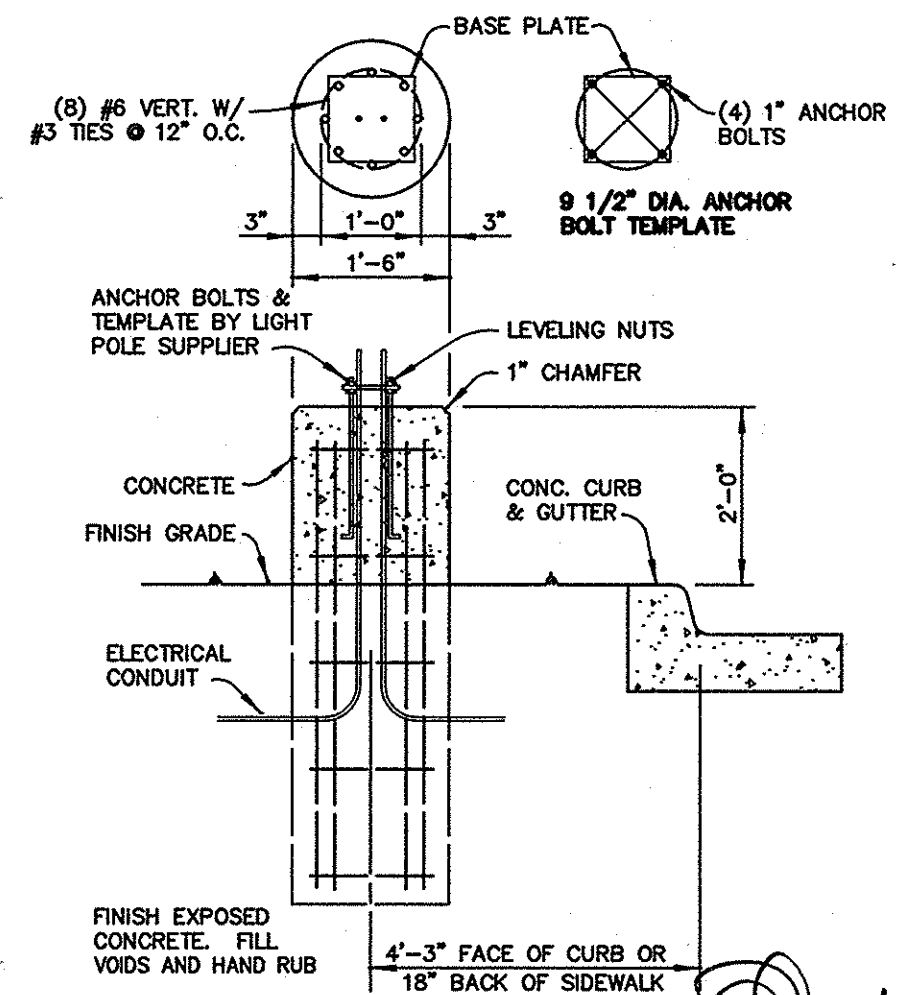
SEE DETAIL J BELOW FOR PAVING SECTION SPECIFICATION  
**(G) 28' R/W & 20' Paving Centered**  
 SCALE: NONE



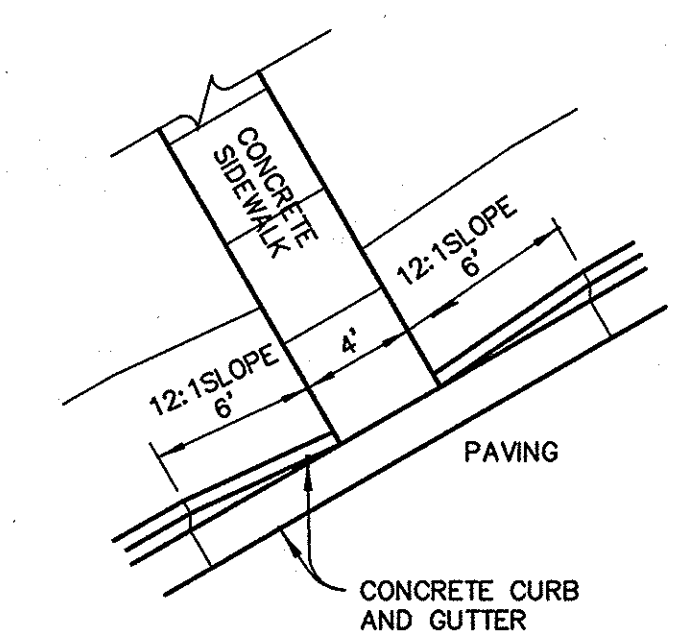
SEE DETAIL J BELOW FOR PAVING SECTION SPECIFICATION  
**(H) 40.65' R/W & 24' Paving Offset**  
 SCALE: NONE



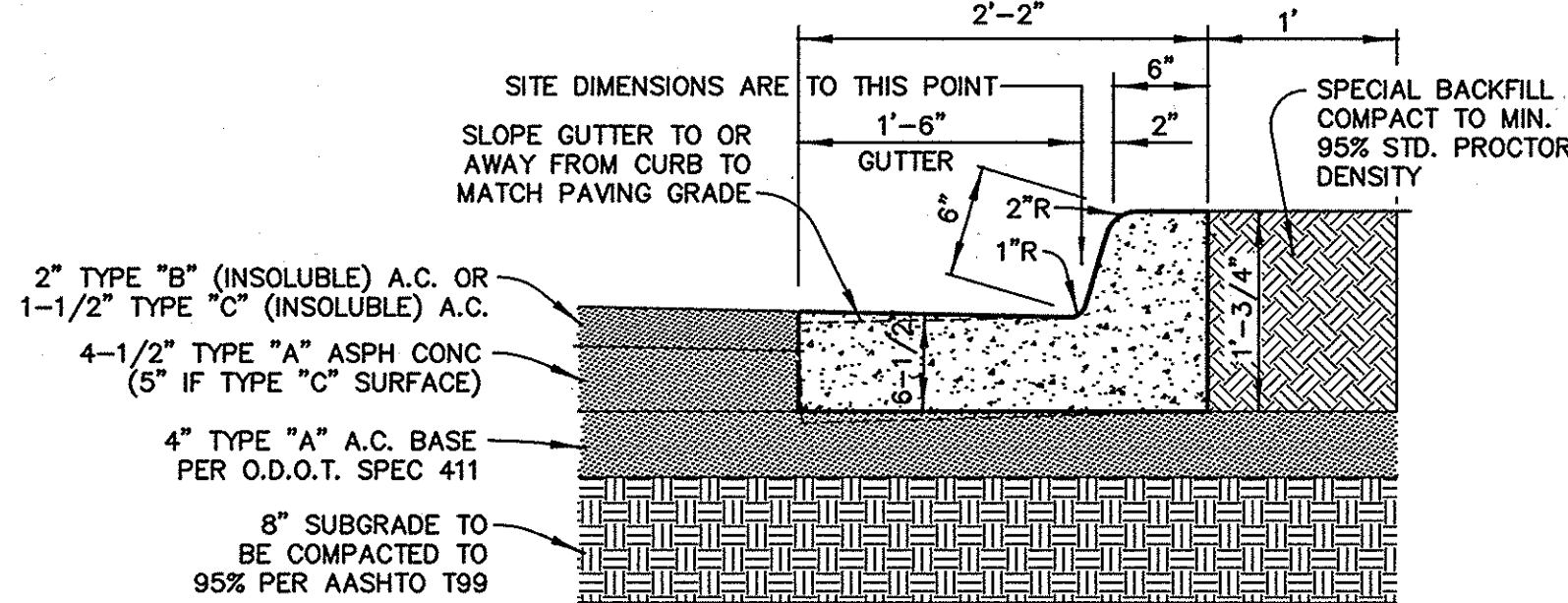
**(M) Handicapped Parking Sign**  
 SCALE: NONE



**(N) Pole Light Base**  
 SCALE: NONE

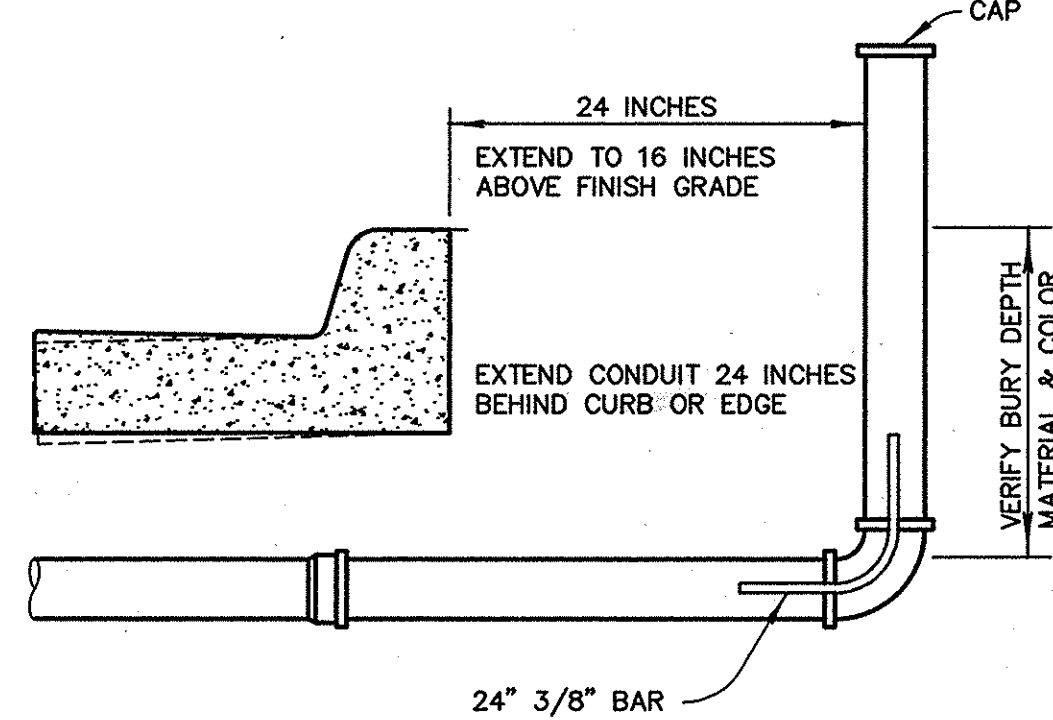


**(I) Typ Curb Cut Detail**  
 SCALE: NONE

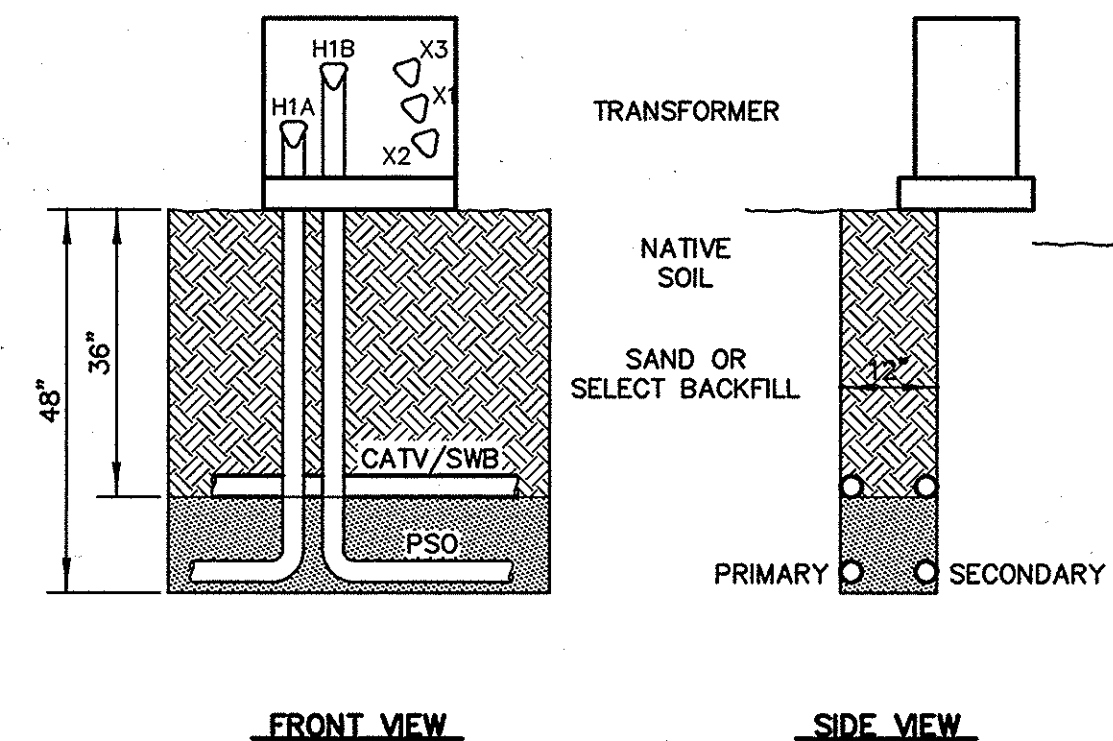


- NOTES:
1. SAWCUT CONTRACTION JOINTS AT 15 FT. MAX SPACING. CONSTRUCT DOWELED ISOLATION JOINTS AT ALL POINTS OF CURVE NOT TO EXCEED 90 FT. MAX. SPACING.
  2. CONCRETE FOR CURB & GUTTER SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3500 PSI AND SHALL BE AIR-ENTRAINED AT SIX PERCENT (6%)  $\pm 1\%$ .
  3. TEST ROLLING REQUIRED IN ACCORDANCE WITH O.D.O.T. SPECIFICATIONS SECTION 203.
  4. ALL PAVING TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF TULSA ASPHALT PAVEMENT STANDARD DETAILS FOR RESIDENTIAL AND COLLECTOR STREETS.

**(J) 6\"/>**



**(K) Conduits Under Paving**  
 SCALE: NONE



**(L) Typical Utility Trench**  
 SCALE: NONE

**Record Plans**  
 TO THE BEST OF MY KNOWLEDGE, FROM THE INFORMATION AVAILABLE, THIS PLAN IS IN SUBSTANTIAL COMPLIANCE WITH FIELD CONSTRUCTION.  
 DAN E. TANNER, P.E., P.L.S.  
 2/26/2002

ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF TULSA PUBLIC WORKS DEPARTMENT SPECIFICATIONS, INCLUDING O.D.O.T. 1988 EDITION.

REVISION	BY	DATE
1. RAISE DESIGN FF LOT 35/36 SD4 & 6	ST	10/6/00
2. COMP STORAGE WALL & WALKS SD2-5	ST	11/18/00
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4. REV'D DESIGN FINISH FLOORS SD4-9	ST	2/6/01
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6. RECORD DRAWING REVISIONS	ST	2/26/02

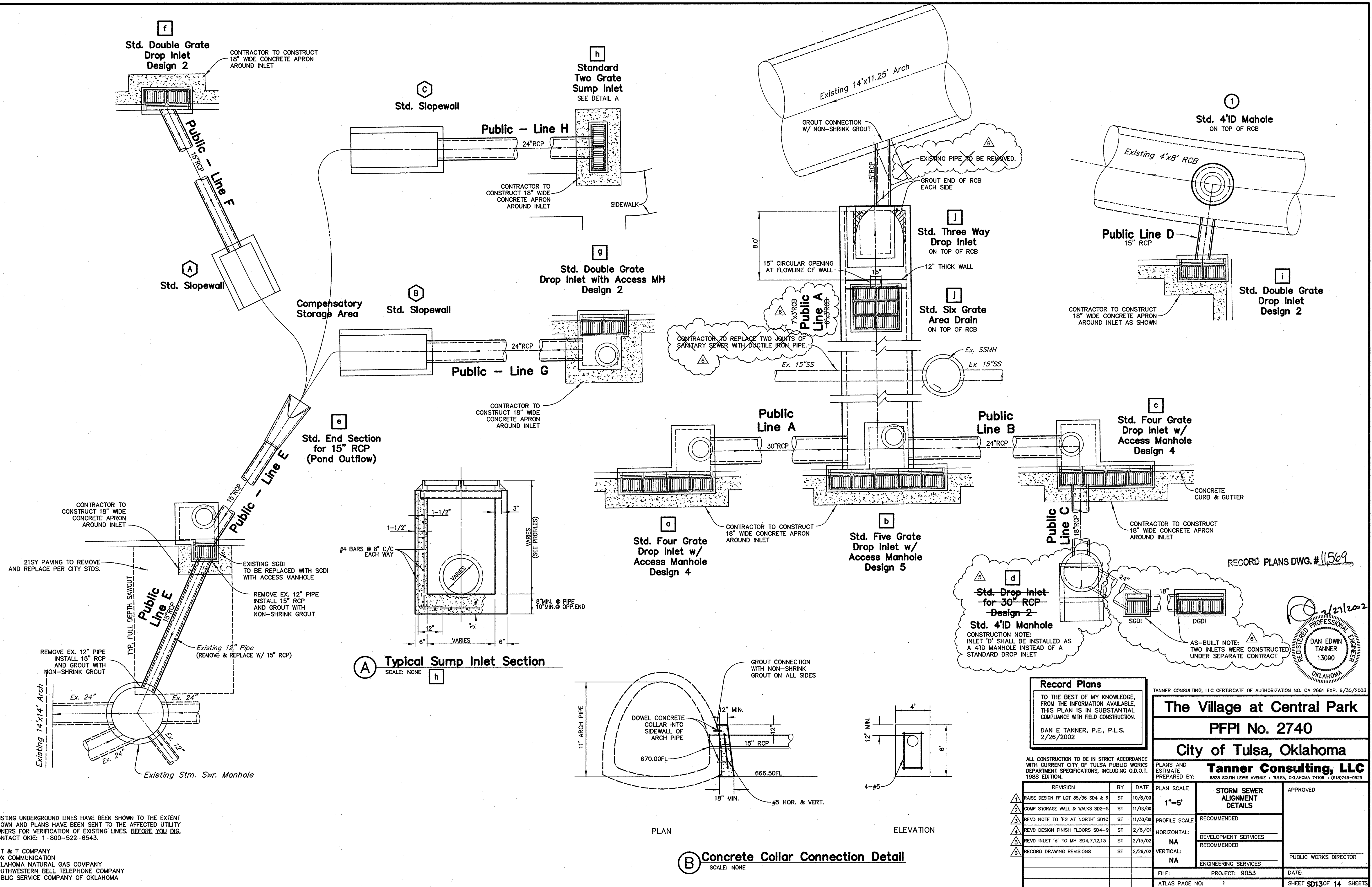
RECORD PLANS DWG. # 11569  
 TANNER CONSULTING, LLC CERTIFICATE OF AUTHORIZATION NO. CA 2661 EXP. 6/30/2003

The Village at Central Park		
PFPI No. 2740		
City of Tulsa, Oklahoma		
PLANS AND ESTIMATE PREPARED BY: <b>Tanner Consulting, LLC</b> 5323 SOUTH LEWIS AVENUE • TULSA, OKLAHOMA 74105 • (918)745-9929		
E 00 00 00 01 02 03	PLAN SCALE  1"= 5'  PROFILE SCALE RECOMMENDED  HORIZONTAL: NA VERTICAL: NA	PAVING SECTIONS AND DETAILS    RECOMMENDED DEVELOPMENT SERVICES RECOMMENDED ENGINEERING SERVICES  APPROVED       PUBLIC WORKS DIRECTOR
	FILE: ATLAS PAGE NO: 1	DATE: SHEET <b>SD11</b> of 14 SHEETS

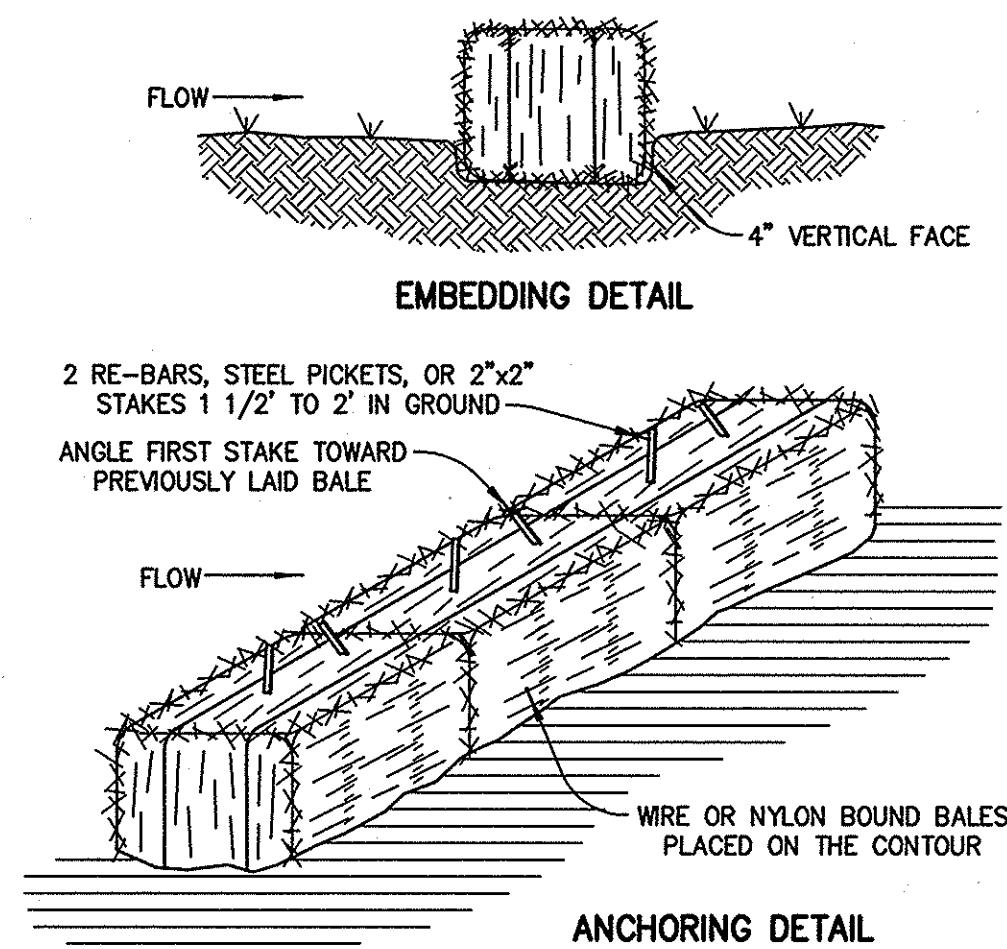








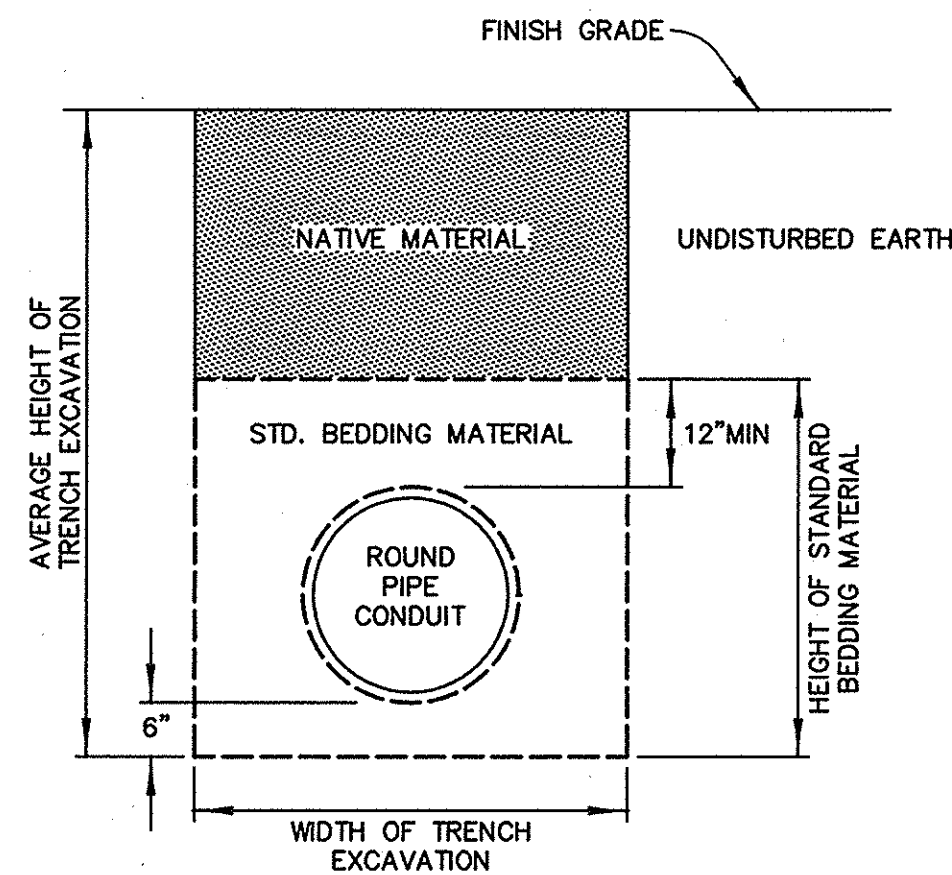




- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF FOUR INCHES, WHERE POSSIBLE.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED BY CONTRACTOR.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES.

### C Hay Bale Dike Detail

SCALE: NONE



NOTE: STANDARD BEDDING MATERIAL MUST BE ODOT TYPE "A" AGGREGATE BASE. UNDER PAVING TYPE "A" AGGREGATE BASE MUST BE TO THE TOP OF THE TRENCH. TYPE "A" AGGREGATE BASE TO BE COMPACTED TO 95% STANDARD PROCTOR DENSITY.

PIPE SIZE, IN.	TRENCH WIDTH, FT.
10" < 24"	OD + 2'
24" < ID < 36"	OD + 2.5'
36" < ID < 60"	OD + 3.5'
ID > 60"	OD + 2' EACH SIDE OF PIPE

### D Std. Pipe Bedding Detail

SCALE: NONE

EXISTING UNDERGROUND LINES HAVE BEEN SHOWN TO THE EXTENT KNOWN AND PLANS HAVE BEEN SENT TO THE AFFECTED UTILITY OWNERS FOR VERIFICATION OF EXISTING LINES. BEFORE YOU DIG, CONTACT OKIE: 1-800-522-6543.

A T & T COMPANY  
COX COMMUNICATION  
OKLAHOMA NATURAL GAS COMPANY  
SOUTHWESTERN BELL TELEPHONE COMPANY  
PUBLIC SERVICE COMPANY OF OKLAHOMA

### Paving Notes

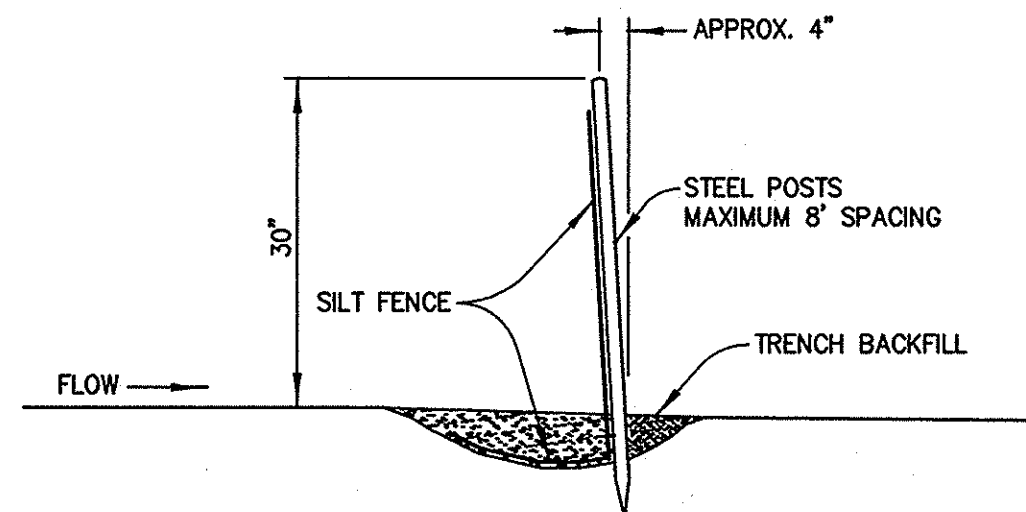
- ALL PAVING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY STANDARD CONSTRUCTION SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL PARTICIPATE IN A PRE-CONSTRUCTION CONFERENCE WITH THE PUBLIC WORKS DEPARTMENT. AT THIS CONFERENCE THE CONTRACTOR SHALL FURNISH CERTIFICATION FROM THE MANUFACTURER/SUPPLIER THAT ALL MATERIALS MEET APPLICABLE SPECIFICATION. THIS INFORMATION SHALL INCLUDE MOISTURE DENSITY CURVES FOR MATERIAL TO BE USED FOR EMBANKMENT OR SUBGRADE CONSTRUCTION, AGGREGATE GRADATION TESTS, AND MIX DESIGNS FOR PORTLAND CEMENT CONCRETE AND/OR ASPHALTIC CONCRETE. CERTIFICATIONS SHALL BE SUPPLIED IN FIVE (5) COPIES WITH THREE (3) COPIES STAMPED AND APPROVED, BY THE CITY, RETURNED TO THE CONTRACTOR. MATERIALS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE CITY.
- ALL PAVING CONSTRUCTION SHALL BE INSPECTED BY THE PUBLIC WORKS DEPARTMENT UTILITY INSPECTORS, IN ACCORDANCE WITH CITY POLICY.
- THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS DEPARTMENT AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION.
- ALL UTILITY CONSTRUCTION (WATER, SEWER, AND STORM WATER) SHALL BE COMPLETED PRIOR TO SUBGRADE PREPARATION.
- SUBGRADE SHALL BE FREE OF ALL ORGANIC MATTER, TREATED, AND COMPACTED ACCORDING TO THE PLANS AND SPECIFICATIONS.
- SUBGRADE STABILIZATION SHALL BE AT THE DIRECTION OF THE ENGINEER, OR AS SPECIFIED IN SUBSURFACE GEOTECHNICAL REPORT.
- PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF UNACCEPTABLE SUBGRADE AT ALL UTILITY, CABLE OR CONDUIT CROSSINGS.
- PAVING CONTRACTOR SHALL INSPECT SUBGRADE PRIOR TO COMMENCING WORK; AND, SHALL REPAIR AREAS WHERE GRADE VARIES MORE THAN 0.1 FEET, WHERE DENSITY IS LESS THAN 95% STANDARD PROCTOR OR WHERE SUBGRADE DRAINAGE IS INADEQUATE. AT THE UNIT PRICE BID FOR FINE GRADING IN THE PROPOSAL, SUBGRADE MODIFICATIONS, WHERE REQUIRED, SHALL NOT COMMENCE UNTIL SUBGRADE REPAIRS HAVE BEEN ACCEPTED BY THE ENGINEER.
- SEQUENCE OF CONSTRUCTION FOR STABILIZED SUBGRADES SHALL BE BLUE TOP AND FINE GRADE, LIME OR FLY ASH TREAT AND STABILIZE, AND THEN FINAL FINE GRADING.
- COMPACTION TESTS SHALL BE TAKEN A MINIMUM OF ONCE EVERY 4,500 SQUARE FEET FOR EACH EIGHT (8) INCH LIFT OF MATERIAL.
- SUBGRADES SHALL BE PROOFROLLED IF THE STABILITY OF THE MATERIAL IS QUESTIONED. ALSO, THE SUBGRADE EXPOSED AFTER STRIPPING AND COMPLETING ANY CUTS SHALL BE PROOFROLLED ACCORDING TO THE GEOTECHNICAL REPORT.
- PORTLAND CEMENT CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF NOT LESS THAN 3,500 PSI, A SLUMP OF NOT MORE THAN 3", AND SHALL CONTAIN SIX PERCENT (6%) AIR + OR - 1%.
- ASPHALTIC CONCRETE SHALL HAVE DENSITY OF NOT LESS THAN 94% NOR MORE THAN 96% AND HVEEM STABILITY OF NOT LESS THAN 40%.
- THE CONTRACTOR SHALL FURNISH THE FOLLOWING TESTING SERVICES BY A REPUTABLE INDEPENDENT TESTING LABORATORY APPROVED BY THE CITY:
  - FIELD DENSITY TESTS OF EMBANKMENT, SUBGRADE, OR BASE, AT LOCATIONS SPECIFIED BY THE INSPECTOR.
  - PLASTICITY TESTS OF THE SUBGRADE AT LOCATIONS SPECIFIED BY THE ENGINEER.
  - MOISTURE DENSITY CURVES FOR MATERIAL TO BE USED FOR EMBANKMENT OR SUBGRADE CONSTRUCTION
  - MIX DESIGNS FOR PORTLAND CEMENT CONCRETE AND ASPHALTIC CONCRETE
  - AGGREGATE GRADATION TESTS
  - STABILITY, DENSITY, BITUMEN CONTENT AND GRADATION TESTS OF ASPHALTIC CONCRETE EVERY 200 TONS OR DAILY WHICH EVER IS LESS.
  - COMPRESSION TEST OF CONCRETE CYLINDERS AT SEVEN (7) AND TWENTY-EIGHT (28) DAYS WITH ONE (1) OF EACH TESTS CONDUCTED FOR EVERY 100 CUBIC YARDS PLACED.
  - ONE CORE SAMPLE, AT A LOCATION SPECIFIED BY THE INSPECTOR FOR EVERY 8,000 SQUARE FEET OF PAVEMENT.
- THE CONTRACTOR SHALL FURNISH CERTIFICATION FROM THE MANUFACTURER THAT ALL MATERIALS MEET APPLICABLE SPECIFICATIONS. COPIES OF MATERIAL CERTIFICATION SHALL BE FURNISHED TO THE CITY ENGINEER PRIOR TO INSTALLATION OR INCORPORATION OF MATERIAL IN THE WORK.
- THE PAVING CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO GRADE AFTER PAVING OF STREETS HAS BEEN COMPLETED.
- THE PAVING CONTRACTOR SHALL PLACE A CONCRETE COLLAR TWO (2) FEET SQUARE AND EQUIVALENT IN THICKNESS TO THE STREET BEING CONSTRUCTED, AROUND EACH VALVE BOX NOT LOCATED IN A PAVED AREA. THE VALVE BOX SHALL BE ADJUSTED TO GRADE PRIOR TO PLACING OF THE CONCRETE COLLAR.
- ROAD CLOSURES MUST BE COORDINATED A MINIMUM OF TWENTY FOUR (24) HOURS IN ADVANCE. ROADS WILL NOT BE CLOSED FOR OVER EIGHT (8) HOURS WITHOUT WRITTEN PERMISSION FROM THE PUBLIC WORKS DIRECTOR.

### Grading and Erosion Control Notes

- ALL GRADING AND EROSION CONTROL SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY STANDARD CONSTRUCTION SPECIFICATIONS.
- ALL EROSION CONTROL CONSTRUCTION SHALL BE INSPECTED BY THE PUBLIC WORKS DEPARTMENT UTILITY INSPECTORS, IN ACCORDANCE WITH CITY POLICY.
- THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
- TOPSOIL SHALL BE STRIPPED TO A DEPTH WHERE SOIL IS FREE OF ROOTS AND VEGETATION.
- STRIPPINGS SHALL BE STOCKPILED OR WNDROWED ON SITE IN AREAS DESIGNATED BY OWNER, AND RE-DISSEAL AS DIRECTED BY OWNER AFTER GRADING IS COMPLETE. TOPSOIL SHALL BE SPREAD TO A DEPTH NOT EXCEEDING 6 INCHES.
- CLEARING AND TREE REMOVAL WILL BE PERFORMED AS PART OF THE UNIT PRICE FOR EXCAVATION AND EMBANKMENT, AND SHALL INCLUDE GRUBBING ROOTS AND VEGETATION AS MAY BE NECESSARY.
- ROUGH GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR LANDSCAPE CONTRACTOR'S USE AND BENEFIT. LANDSCAPE CONTRACTOR SHALL USE AND/OR DISPOSE OF REMAINING TOPSOIL STOCKPILE.
- SUBGRADE STABILIZATION SHALL BE AT THE DIRECTION OF THE ENGINEER, OR AS SPECIFIED IN SUBSURFACE GEOTECHNICAL REPORT.
- CIVIL ENGINEER WILL NOT INTERPRET SOILS REPORTS OR ACCEPT RESPONSIBILITY FOR ALTERNATIVE METHODS PROPOSED BY THE CONTRACTOR.
- EROSION CONTROL SHALL START WITH INITIAL CONSTRUCTION AND BE PRACTICED THROUGHOUT THE PROJECT.
- HAY BALE DIKES OR SILT FENCES SHALL BE CONSTRUCTED ADJACENT TO ALL DRAINAGE-WAYS, AND IN ALL AREAS THAT WILL ERODE INTO THE STORM SEWER SYSTEM.
- THE CONTRACTOR SHALL RE-SEED ALL AREAS DISTURBED DURING CONSTRUCTION AND CONTRACTOR SHALL BE RESPONSIBLE FOR SEEDING AREAS UNTIL GROWTH IS ESTABLISHED TO A UNIFORM HEIGHT OF TWO (2) INCHES.
- UNDERCUTTING OF SOFT SPOTS AND PLACEMENT OF EARTHWORK IS GOVERNED FIRST BY THE GEOTECHNICAL REPORT. OBSERVATION AND TESTING SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER TO VERIFY THAT THE SOFT SPOTS ARE PROPERLY OVEREXCAVATED AND REPLACED OR STABILIZED.
- CONTRACTOR SHALL PROVIDE WATER AS REQUIRED TO OBTAIN SPECIFIED COMPACTION.
- THE METHODS REQUIRED BY THE EARTHWORK CONTRACTOR INCLUDE OVERBUILDING THE BUILDING PADS AND STAIRWELL AREAS SUFFICIENT TO CONSTRUCT FOOTINGS AND SLABS OF THE ENTIRE BUILDING. TRIMMING OF EXCESS OVERBUILD AND MOVEMENT OF THE TRIMMINGS TO SUBSEQUENT PHASES OF THE EARTHWORK MAY BE REQUIRED.
- STRIPPING, PROOFROLLING, SUBGRADE SCARIFICATION AND COMPACTION, AND FILL CONSTRUCTION IN THE BUILDING AND PAVING AREAS SHALL BE PERFORMED ACCORDING TO THE SUBSURFACE GEOTECHNICAL REPORT. EMBANKMENT BENEATH BUILDING PADS OR FOR PAVING SUBGRADE SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES AND COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY AT OPTIMUM MOISTURE CONTENT, UNLESS OTHERWISE SPECIFIED THEREIN.
- ALL EXISTING PAVEMENTS, GRAVEL AND SAND FILL, CONCRETE RUBBLE OR SLABS, OR OTHER SURFACE AND SUBSURFACE FEATURES FROM PREVIOUS SITE USE SHALL BE REMOVED FULL-DEPTH THROUGHOUT THE BUILDING AND PAVEMENT AREAS BEFORE COMPLETING SUBGRADE PREPARATION AND PLACING ANY FILL (REFER TO THE GEOTECHNICAL REPORT FOR ONSITE OBSERVATIONS).
- DENSITY TESTING WILL BE PROVIDED BY THE OWNER. ANY FAILING TEST SHALL BE RE-TESTED AT THE CONTRACTOR'S EXPENSE UNTIL PASSING TESTS ARE OBTAINED.
- THE EARTHWORK CONTRACTOR IS ULTIMATELY RESPONSIBLE TO IMPORT OR EXPORT MATERIAL AS NECESSARY TO ACHIEVE THE GRADES SHOWN ON THE CIVIL ENGINEER'S DOCUMENTS.
- ROUGH TRIM WITHIN TWENTY (20) FEET OF THE BACK OF CURB SHALL BE PROVIDED BY THE PAVING CONTRACTOR.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL IN-PLACE FINAL TRIM AREAS TO CONDITION PRIOR TO PLACING TOPSOIL. TOPSOIL SHALL BE PLACED AND ACCEPTED PRIOR TO THE PLACEMENT OF SOD.
- OTHER TOPSOIL MAY BE PLACED IN NON-STRUCTURAL AREAS OF THE SITE IF APPROVED IN WRITING BY THE CIVIL ENGINEER OR OWNER.
- THE LANDSCAPE CONTRACTOR MAY ENTER INTO A SEPARATE AGREEMENT WITH THE SIDEWALK AND/OR PAVING CONTRACTOR TO ASSUME RESPONSIBILITY FOR ALL FINAL TRIM.
- THE UTILITY CONTRACTOR IS RESPONSIBLE TO REMOVE EXCESS TRENCHING MATERIAL FROM THE SITE OR STOCKPILE ACCEPTABLE MATERIAL FOR ROUGH GRADING CONTRACTOR'S USE AND BENEFIT.
- THE SIDEWALK CONTRACTOR IS RESPONSIBLE FOR ALL REMAINING FINAL TRIM.
- FINAL GRADES OF ABOVE SURFACE UTILITIES NOT IN PAVED AREAS, INCLUDING BUT NOT LIMITED TO STORM SEWER MANHOLE LIDS, WATER METER LIDS AND SEWER CLEANOUTS, ARE TO BE ADJUSTED BY THE UTILITY CONTRACTOR TO CONFORM TO LANDSCAPING SOD INSTALLATION.
- TRANSFORMER PADS AND PEDESTALS ARE TO BE LEVEL AND PLUMB.
- CARE SHALL BE TAKEN TO ADJUST GAS METERS AND MANIFOLDS SO AS TO APPEAR CORRECTLY POSITIONED.
- GENERAL CONTRACTOR SHALL MONITOR INSTALLATION OF SERVICE PEDESTALS AND SHALL ACCEPT CONDITION OF THE WORK BY OTHERS, AND SHALL BE RESPONSIBLE TO EMPLOY CONTRACTORS AS NECESSARY TO CORRECT POOR WORKMANSHIP.
- PAVING CONTRACTOR IS RESPONSIBLE TO REVIEW ALL FIELD ESTABLISHED GRADES PRIOR TO PLACEMENT OF MATERIALS SO AS TO PROVIDE POSITIVE DRAINAGE IN ALL CASES.
- CORRECTIVE MEASURES DIRECTED BY THE ENGINEER MAY INCLUDE COMPLETE REMOVAL AND REPLACEMENT AT NO COST TO OWNER IN CASES OF POOR WORKMANSHIP OR UNSATISFACTORY IN-PLACE CONDITIONS.
- CONTRACTOR SHALL COORDINATE AND PROVIDE ALL STAKING NECESSARY TO INSTALL CONDUITS SUFFICIENT FOR UTILITY AND IRRIGATION SERVICES WHETHER OR NOT SHOWN ON THE CIVIL ENGINEER'S PLANS.

### Storm Sewer Notes

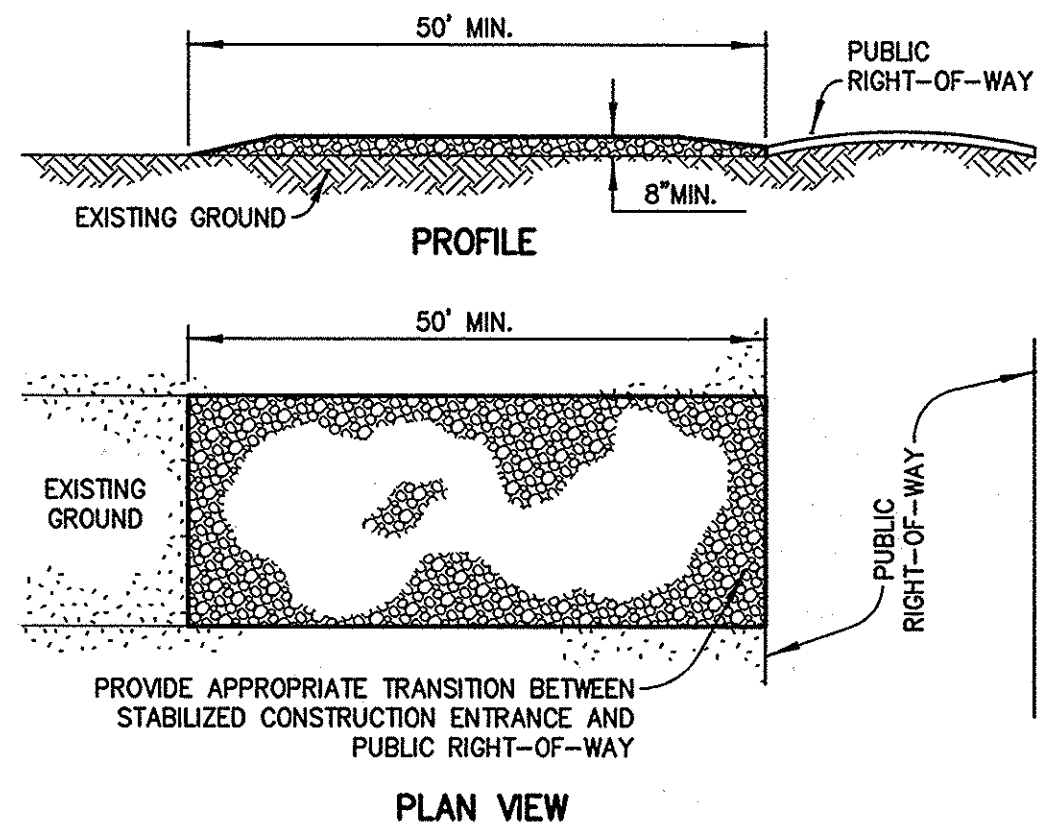
- ALL STORM SEWER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT CITY STANDARD CONSTRUCTION SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL PARTICIPATE IN A PRE-CONSTRUCTION CONFERENCE WITH THE PUBLIC WORKS DEPARTMENT. AT THIS CONFERENCE THE CONTRACTOR SHALL FURNISH CERTIFICATION FROM THE MANUFACTURER/SUPPLIER THAT ALL MATERIALS MEET APPLICABLE SPECIFICATIONS. CERTIFICATIONS SHALL BE SUPPLIED IN FIVE (5) COPIES WITH THREE (3) COPIES STAMPED AND APPROVED, BY THE CITY, RETURNED TO THE CONTRACTOR. MATERIALS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE CITY.
- ALL STORM SEWER AND DRAINAGE CONSTRUCTION SHALL BE INSPECTED BY THE PUBLIC WORKS DEPARTMENT UTILITY INSPECTORS, IN ACCORDANCE WITH CITY POLICY.
- THE CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BEFORE EXCAVATING.
- THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS DEPARTMENT AT LEAST 24 HOURS PRIOR TO START OF CONSTRUCTION.
- MANHOLES AND APPURTENANCE DETAILS SHALL BE APPROVED BY THE CITY ENGINEER BEFORE CONSTRUCTION IS STARTED.
- ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE CONFORMING TO ASTM C-76 CLASS III, WALL "B", UNLESS OTHERWISE NOTED. OMNI-FLEX JOINTS SHALL BE REQUIRED ON ALL REINFORCED CONCRETE PIPE.
- STORM SEWER BEDDING, BACKFILL, AND COMPACTION SHALL BE IN ACCORDANCE WITH CITY STANDARD DRAWINGS.
- ALL STORM SEWER LINES NOT UNDER PAVING SHALL BE LAID IN TYPE A AGGREGATE BEDDING TO A MINIMUM DEPTH OF 12 INCHES ABOVE THE TOP OF PIPE. THE TRENCH MAY BE BACKFILLED WITH COMPACTED SOIL UPON APPROVAL BY THE INSPECTOR.
- PIPE BACKFILL SHALL BE PLACED IN LIFTS NOT EXCEEDING EIGHT (8) INCHES, AND COMPACTED BY VIBRATORY PLATE OR OTHER METHOD APPROVED BY THE ENGINEER.
- PAVING SUBGRADE SHALL BE RESTORED TO PROPER GRADE (+ OR - 0.1 FT) AND DENSITY AFTER PIPE IS BACKFILLED.
- ALL DROP INLETS SHALL HAVE CAST IRON HOODS.
- CONSTRUCTION OF STORM SEWER STRUCTURES SHOULD INCLUDE A TEMPORARY DRAIN HOLE AT A POINT TWELVE (12) INCHES BELOW PAVING SUBGRADE TO PROMOTE DRAINAGE DURING CONSTRUCTION. PAVING AND STORM SEWER CONTRACTORS SHALL COORDINATE THE PLUGGING OF THE TEMPORARY HOLES.
- ALL PRECAST MANHOLES SHALL HAVE ADJUSTABLE TOP RIMS PROVIDING SIX (6) INCHES, PLUS OR MINUS, FOR ADJUSTMENT TO FINAL GRADES. ELEVATIONS SHOWN ON PLANS MAY BE ADJUSTED WHILE THE WORK IS IN PROGRESS TO CONFORM TO FINAL IN-PLACE PAVING AND LANDSCAPE GRADES.
- THE UTILITY CONTRACTOR ASSUMES THE RISK OF ORDERING PRECAST CONCRETE COMPONENTS PRIOR TO FIELD STAKING AND REVIEW OF FIELD CONDITIONS AT THE TIME OF CONSTRUCTION.
- VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS AS SOON AS THE WORK IS COMPLETED.
- ROAD CLOSURES MUST BE COORDINATED A MINIMUM OF TWENTY FOUR (24) HOURS IN ADVANCE. ROADS WILL NOT BE CLOSED FOR OVER EIGHT (8) HOURS WITHOUT WRITTEN PERMISSION FROM THE PUBLIC WORKS DIRECTOR.



- POSTS SHALL BE ANGLED SLIGHTLY TOWARD RUNOFF SOURCE.
- THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN AND BACKFILLED.
- THE TRENCH SHOULD BE 6" DEEP BY 3' TO 4' WIDE TO ALLOW SILT FENCE TO BE LAID IN AND BACKFILLED.
- SILT FENCE SHALL BE FASTENED TO POSTS OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE POSTS.
- INSPECTION SHALL BE FREQUENT & REPAIR OR REPLACEMENT PROMPT.
- SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO IMPEDE STORMWATER FLOW.
- TRAPPED SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED MANNER AND LOCATION WHICH WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
- ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6" TO 9" AND DISPOSED OF AS IN NOTE 7 ABOVE.

### B Silt Fence Detail

SCALE: NONE



- STONE SIZE AASHTO DESIGNATION M43, SIZE NO.2 (2-1/2" TO 1-1/2"). USE CRUSHED STONE.
- LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
- THICKNESS - NOT LESS THAN EIGHT(8) INCHES.
- WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY BY THE OWNER.

### A Stabilized Construction Entrance

SCALE: NONE

### Staking

- CONSTRUCTION STAKING PROVIDED BY THE OWNER WILL BE LIMITED TO CENTERLINE CONTROL AND MAJOR RECTANGULAR PAVING OUTLINES NECESSARY TO ESTABLISH THE MAJOR PAVING AND GRADING COMPONENTS. THE OWNER PROVIDED CONTROL WILL BE COLOR CODED. THE CONTRACTOR SHALL FURNISH SUCH INCIDENTAL STAKING AS DEEMED APPROPRIATE TO ACCOMPLISH ACCEPTABLE RESULTS. THE CONTRACTOR SHALL COLOR-CODE STAKES CONSISTENTLY AND DIFFERENTLY FROM THE STAKES SET BY THE OWNER. THE CONTRACTOR SHALL NOT RESET OWNER CONTROL.

RECORD PLANS DWG.# 11569

TANNER CONSULTING, LLC CERTIFICATE OF AUTHORIZATION NO. CA 2661 EXP. 6/30/2003

The Village at Central Park

PFPI No. 2740

City of Tulsa, Oklahoma

Tanner Consulting, LLC

PLANS AND ESTIMATE PREPARED BY: 5323 SOUTH LEWIS AVENUE • TULSA, OKLAHOMA 74105 • (918)745-9929

**Record Plans**  
TO THE BEST OF MY KNOWLEDGE, FROM THE INFORMATION AVAILABLE, THIS PLAN IS IN SUBSTANTIAL COMPLIANCE WITH FIELD CONSTRUCTION.  
DAN E. TANNER, P.E., P.L.S.  
2/26/2002

ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF TULSA PUBLIC WORKS DEPARTMENT SPECIFICATIONS, INCLUDING O.D.T. 1988 EDITION.

REVISION	BY	DATE	PLAN SCALE	DETAILS AND NOTES	APPROVED
1. RAISE DESIGN FF LOT 35/36 SD4 & 6	ST	10/6/00	AS SHOWN	RECOMMENDED	
2. COMP STORAGE WALL & WALKS SD2-5	ST	11/18/00	PROFILE SCALE	RECOMMENDED	
3. REV'D NOTE TO 'FG AT NORTH' SD10	ST	11/30/00	HORIZONTAL: NA	DEVELOPMENT SERVICES	
4. REV'D DESIGN FINISH FLOORS SD4-9	ST	2/6/01	VERTICAL: NA	RECOMMENDED	
5. REV'D INLET 'd' TO MH SD4,7,12,13	ST	2/15/02		ENGINEERING SERVICES	
6. RECORD DRAWING REVISIONS	ST	2/26/02			
			FILE:	PROJECT: 9053	DATE:
			ATLAS PAGE NO: 1		SHEET SD140F 14 SHEETS

